

COLUMBIA COLLEGE CHICAGO
CAMPUS PRESERVATION PLAN

Volume III

72 EAST 11TH STREET

Submitted by
McGuire Igleski & Associates, Inc.

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COLUMBIA COLLEGE CHICAGO CAMPUS PRESERVATION PLAN

VOLUME I: SUMMARY AND PRIORITIZED RECOMMENDATIONS

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INTRODUCTION

This report contains the results of the research, survey and assessment of 72 East 11th Street. Evaluation of the building was completed in three stages beginning with a broad historical and architectural assessment for landmark eligibility, continuing with the classification of the building into zones and concluding with the survey and assessment of individual architectural elements.

Research, Evaluation and Building Classification

The building was researched and evaluated to determine its eligibility for landmark status based on the classification levels listed below. The classification identifies buildings of outstanding architectural quality or associative value, and distinguishes them from buildings of lesser importance. The building has been evaluated based on the National Register of Historic Places' criteria, assessing the building's significance and the level of significance, (i.e. local, state, or national). In the text NR refers to National Register and CL refers to Chicago Landmarks. The building classification levels are:

- CLASS 1 – A building listed, or eligible for listing, as a National Historic Landmark.
- CLASS 2 – A building on, or eligible for, the National Register at the National significance level
- CLASS 3 – A building on, or eligible for, the National Register at the State or Local significance level or City of Chicago Landmark listing
- CLASS 4 – A building that is potentially eligible for the National

Register or City of Chicago Landmark listing

- CLASS 5 – A building 50 years old or older that has not been evaluated for National Register or City of Chicago Landmark eligibility
- CLASS 6 – 45-50 Pending. A building 45-50 years old that is not eligible for the National Register or City of Chicago Landmark listing, but with the passing of time may become eligible and needs re-evaluation
- CLASS 7 – A building which has been determined to be ineligible for the National Register or City of Chicago Landmark listing
- CLASS 8 – Non-Historic

Research was performed to identify the following general information:

- Building Name/Historic name
- Address
- Type
- Architectural Style/Description
- Age/Date of Construction
- Uniqueness
- Site Context
- Use
- Condition
- Modifications
- Historical Associations/Significance
- Size
- Existing documentation
- References in publications and reports

Building Zones

Areas of the building were surveyed, assessed and assigned zone designations. Zoning divides the building into spaces based on the Phase I historic documentation and landmark evaluation and takes into

consideration historic context, architectural significance, changes over time, style, materials, and features.

Zoning recognizes that the building has different spaces holding varying degrees of historic value. This hierarchy of spaces includes primary facades, secondary facades, highly ornamented public spaces, plainly detailed public spaces, and non-public / support spaces. Zones transcend delineation by floor; it is typical that the zones divide public from private and private from utilitarian spaces. Stairways for example, are zoned vertically.

The zone level assigned to a space influences the degree of preservation treatment recommended for that space. Zoning is used to apply restoration standards to significant areas and determine areas that are open to greater degrees of modification. Definitions of the six different zones follow.

Level 1: Preservation Zone

Areas exhibiting unique or distinctive qualities, original materials or elements; or representing examples of skilled craftsmanship; the work of a known architect or builder; or associated with a person or event of preeminent importance define the Level 1 Preservation Zone. Level 1 areas are distinguished from Level 2 areas by a higher concentration of finish material and detail.

The character and qualities of this zone should be maintained and preserved as the highest priority. Preserving the character of a zone

means preserving a space as it was originally designed, including its scale, ornament, and materials. Spaces in this zone represent the highest degree of detail and finish.

Level 2: Preservation Zone

Areas exhibiting distinguishing qualities, original materials or elements; or representing examples of skilled craftsmanship define the Level 2 Preservation Zone. Level 2 zones are less rich in historic materials and detail compared to spaces in a Level 1 zone, nonetheless; the space is considered important to defining the unique character of the building.

Every effort should be made to maintain and preserve the character and qualities of this zone. Preserving the character of a zone means preserving the space as it was originally designed, including its scale, ornament, and materials.

Level 3: Rehabilitation Zone

Areas which are modest in nature, not highly ornamented but nonetheless, may be original, with historic features which have been maintained at an acceptable level define this zone. This zone includes secondary and tertiary spaces and areas generally out of public view.

Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. The characteristics of this zone contribute to the historic appearance, date to the period of historic significance or

represent later, sensitive repair or replacement work, which should be preserved and maintained. New work in this zone should respect the existing historic fabric.

Level 4: Free Zone

Areas whose modification would not represent loss of character, code violation or intrusion to an otherwise historically significant structure define this zone. This zone may include undistinguished repetitive or recently constructed areas and additions.

Treatments, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials and designs.

Level 5: Cautionary Zone Overlay

A cautionary zone overlay has been assigned in conjunction with one of the zones 1-4 described above.

This overlay zone describes areas exhibiting potentially hazardous materials or conditions. Materials may include flammable liquids or chemicals. Conditions may include high voltage equipment, sensitive communications equipment, elevator equipment, chillers, air handling units and other mechanical equipment.

Special treatments in this area may not be required.

Level 6: Impact Overlay Zone

An impact overlay zone has been assigned in conjunction with one of the zones 1-4 described above.

Areas insensitively adapted resulting in a loss of significant historic fabric or elements define this overlay zone. Examples include large stylistically distinctive public spaces which have been inappropriately altered or subdivided into smaller spaces resulting in loss of character. An impact overlay zone can also be applied to exterior façades.

Deficiencies in this zone should be corrected and loss of fabric or historic elements mitigated when possible.

Evaluation of Integrity

Each space identified as a Level 1 or Level 2 Preservation Zone was also evaluated for integrity. The integrity was ranked as High, Medium, or Low based on the description of integrity as defined in the National Register Bulletin No. 16: Guidelines for Completing the National Register Nomination Form, 1991 which states: integrity must be evident through historic qualities including location, materials, workmanship, feeling or association. Historic integrity is the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's prehistoric or historic period. Historic integrity is the composite of seven qualities:

- Location
- Design
- Setting

- Materials
- Workmanship
- Feeling
- Association

Not only must a property resemble its historic appearance, but it must also retain physical materials, design features, and aspects of construction dating from the period of significance. All seven qualities do not need to be present for eligibility as long as the overall sense of a past time and place is evident.

Survey and Assessment of Elements and Features

An on-site survey of the exterior and the interior of the building was performed to identify, describe and rate building elements and features. The exterior was observed from the ground and from roof tops. Interior spaces were observed on site with Columbia College staff accompanying team members in non-public areas. The team was supplemented with lighting consultant, Schuler Shook and mechanical, electrical and structural engineers, Calor Design Group, Ltd. Their role was to evaluate conditions and consult with team professionals on appropriate corrective actions for lighting and building systems that impact facades and areas zoned for preservation.

During the on-site survey, information was gathered for each building element and feature. This information was collected on survey forms, one for each zone, and included the following:

- **Description:** A brief description of the physical characteristics

of each element or feature, original and non-original.

- **Rating:** A preliminary treatment rating of each element that takes into account the building's historic and architectural importance.
- **Inventory:** An approximate quantity of the elements or features rated for preservation (i.e. square footage of marble veneer or number of ornamental light fixtures).
- **Condition:** A condition assessment of each element rated for preservation as Good, Fair or Poor.

Each element was rated for its historic importance. The rating categories are as follows:

- 1: Preserve
- 2: Preserve wherever possible – replace in kind if too deteriorated to save
- 3: Preserve wherever possible – if too deteriorated, replace with compatible material and design
- 4: Preserve where there is no compelling reason to remove
- 5: Remove/Alter/Replace
- 6: Specified treatment not required, if any work is done it should be sympathetic

Elements rated as preservation categories 1 and 2 were photographed and the condition and quantity of each element was noted. The condition categories are as follows:

- Good** The element is intact, structurally sound, and performing its intended purpose.
There are few or no cosmetic imperfections.
The element needs one repair and only minor or routine maintenance.

Fair There are early signs of wear, failure, of deterioration, though the element is generally structurally sound and performing its intended purpose.
There is failure of a subcomponent of the element.
Replacement of up to 25% of the element or replacement of a defective component is required.

Poor The element is no longer performing its intended purpose.
The element is missing.
Deterioration or damage of more than 25% of the element and cannot be adjusted or repaired.
The element shows signs of imminent failure or breakdown.
The element requires major repair or replacement.

The information gathered in the field was entered into a database. The survey data was grouped by zone and significant original material and elements were evaluated, taking into consideration their importance and condition. Based on the evaluation, prioritized recommendations have been made to address items found to be deficient as well as items that impact the integrity of areas zoned for preservation. If additional studies or professional assessments are required, these are noted in the report.



Photo: McGuire Igleski & Associates Inc., 2004

Name: Getz Theater Building

Address: 62 – 72 East 11th Street

Size: 6 stories / 104 feet x 120 feet
Approximately 70,000 square feet

Historic Information:

Architects: Holabird & Root. Firm name when project was begun (1927) was Holabird & Roche; firm name when project was completed (1930) was Holabird & Root.
Engineer: Frank Brown. Contractor: McLennan Construction Co.

Original Name: Chicago Women's Club.

Subsequent Names: the Jewish Education Building; 11th Street Theater.

Present Name: Getz Theater Building; Columbia College 11th Street Campus.

Acquired by Columbia College: 1981.

Original Building Type: Club

Style: Art Deco

HBPP Building Classification:

Class # 3: A building on, or eligible for, the National Register or City of Chicago Landmark designation.

Significance:

National Register Designation: Eligible
City of Chicago Historic Landmark Designation: Eligible

City of Chicago Historic Resources Survey:

Color Code – ORANGE. "Orange properties possess some architectural feature or historical association that made them potentially significant in the context of the community."

Drawings:

The Chicago Historical Society (CHS) Architectural Drawings & Materials Archive: Holabird & Roche / Holabird & Root Collection. See: The Chicago Women's Building:

- Job # 5041, "The Chicago Women's Building" (3 folders filed on Shelf G-4. 74 drawings, dated 1928-1931, including plans, sections, elevations, structural, mechanical, electrical, details and schedules):

Published drawings: first floor plan and typical upper floor plan are found in:

- Breugmann, Robert. *Holabird & Roche/Holabird & Root: An Illustrated Catalog of Works, 1880-1940*, vol. II, p. 394.

Existing Publications and Reports:

Architectural Record. vol. 68, July, 1930.

Architecture. Vol. 61, January, 1930.

Breugmann, Robert. *Holabird & Roche/Holabird & Root: An Illustrated Catalog of Works, 1880-1940*, vol. II. New York & London: Garland Press, 1991.

Commission on Chicago Landmarks. *Chicago Historic Resources Survey*. Chicago: City of Chicago, Department of Planning & Development, 1996.

Sinkovitch, Alice, ed. *The AIA Guide to Chicago*. New York: Harcourt Brace & Company, 1993.

Photographic Documentation:

Architectural Record. vol. 68, July, 1930.

Architecture, vol. 61, January, 1930.

Art Institute of Chicago, Ryerson & Burnham Archives, Historic Architecture and Landscape Image Collection: Architecture Lantern Slides. "Chicago Women's Club Building." Accession #30569, #30570, #30571, and #30583; accession date May, 1930.

Chicago Historical Society, Chicago Daily News Photo Collection: #DN-0087886, #DN-086783, #DN-086784.

Gilbert, Paul T., and Charles Lee Bryson. *Chicago and Its Makers*. Chicago: Felix Mendelsohn Publishing, 1929.

Terminology

National Register of Historic Places (NR)

City of Chicago Landmark (CL)

Statement of Significance

The Getz Theater of Columbia College, formerly the Chicago Women's Club Building, at 62-72 East 11th Street has important historic

associations with a significant social organization and important individuals who were members of that organization. It is an archetypal example of a Art Deco design by the notable Chicago Architectural firm of Holabird and Root, and is distinguished by its overall design, fine materials and details.

Historic Significance

The building at 62-72 East 11th Street was built for the Chicago Women's Club, who intended it as a significant architectural statement by what was then one of the most important private women's clubs in Illinois and the Midwest region. Founded in 1876, the Club was a civic-minded service organization dedicated to progressive reform. They funded legal advice for poor women, rallied support for tougher sentences for rapists, provided aid to children, and influenced the city to build its first public baths.

“Some fifty years after its origin, the club had compiled an impressive list of accomplishments such as the founding of the Protective Agency for Women and Children, the first legislation on compulsory education, the incorporation of kindergarten into public schools, the raising of \$90,000 for Glenwood School and of \$200,000 for a women's dormitory at University of Chicago.... The club established the first scholarship at the Art Institute, organized The Political Equity League during the fight for suffrage, and organized the Civic Music Association, which helped foster the Civic Orchestra.” (Breugmann, Robert. *Holabird & Roche/Holabird & Root: An Illustrated Catalog of Works, 1880-1940*, vol. II, p. 395).

Among the Club's more famous members were Bertha Honore Palmer, art collector, doyenne of Chicago society, and wife of developer and

hotelier Potter Palmer; Ellen Martin Henrotin, wife of the president of the Chicago Stock Exchange; physician Dr. Sarah Haskell Stevenson, who was active in matters of public health; and, Jane Addams, the founder of Hull House and winner of the Nobel Peace Prize. In addition to the contributions of its members individually, it was noted at the time the building was built that “the club has contributed more than \$500,000 to the city's welfare and has engaged in much other civic work.” (*Chicago Daily News*. April 8, 1929, p. 8).



Photo: Chicago Historical Society, 1930

The Chicago Women's Club Building was intended to be an example of forward-looking civic citizenship, its modern design meant as an outward

expression of the ideals at work within its walls. Through service, the club sought to be viewed as a benevolent, reform-minded force in the life of the city, and their building was symbolic of these ends.

Architectural Significance

With this record of accomplishment and support of progressive ideals it was no surprise that, when it chose an architect for its new building, the Chicago Women's Club would look to the most modern firm in Chicago at the time. In 1927, John A. Holabird and John W. Root, Jr. took over and remade one of Chicago's oldest and most venerated architectural firms, Holabird and Roche. Under the direction of the son of William Holabird one of the firm's founders, and, the son of Daniel Burnham's partner, the renamed Holabird & Root successfully applied the design vocabulary they learned at the Ecole des Beaux-Arts in the early 1920s, the style later called Art Deco, to the designs they built in Chicago. Holabird & Root would be responsible for the most prominent Art Deco buildings in the city: the 333 North Michigan Avenue Building of 1928 (CL); the Chicago Motor Club of 1928; the Palmolive Building of 1929 (CL); and the Board of Trade Building of 1930 (CL, NR). The firm would help plan Chicago's 1933 Century of Progress world's fair, and John Holabird would be influential in recruiting Mies van der Rohe to direct the Illinois Institute of Technology School of Architecture.

As a client, the Chicago Women's Club sought out Holabird & Root for their modern designs, and gave them the freedom to design the entire building in keeping with their sense of purpose. The *Chicago Evening Post* reported that "Contemporary art style has been used throughout

the interior of the clubhouse, except for one small dining room of the colonial period." (*Chicago Evening Post*, April 6, 1929). The striking modernity of the interior was designed by Johns Hopkins, who was responsible for the lighting fixtures, rugs, draperies, wall papers, and most of the furnishings.

"There is no harkening back to period designs for a fitting background for these women's work. Everything about the building and its fittings look to the future rather than to the past. Adopting the newest methods, the Chicago Women's Club had Holabird & Root, their architects, also plan the interior decorations, and these decorations are in key with the building and with the times." (*Chicago Daily News*, April 8, 1929, p. 8).

Design Philosophy

The end of World War I had a profound impact on European politics, society, and design. This event marked the end of the hereditary monarchies, the artistic patronage that had characterized their societies, and the historic revival styles that had expressed and reinforced aristocratic position and authority. It was the beginning of a progressive age characterized by unprecedented experiments in governmental organization and economic structure, and by a social upheaval caused by the collapse of the old order. Artists, architects and designers sought a new aesthetic vocabulary to express their changed status from royal subjects into citizens of a modern, industrialized world.

The sources for this new aesthetic vocabulary were found in the products of the machine. The Industrial Age had introduced new

technologies for building and design that enabled architects to build more economically, more quickly, and more efficiently. This streamlined, technological process, along with the desire for a new aesthetic, combined to inspire the ornamental form of modernism known as Art Deco. Although named after the famous *Exposition Internationale des Arts Industriels et Decoratifs*, held in Paris in 1925, the style is seen in objects designed from the end of the war, and its approach influenced the curricula of such schools as the Ecole des Beaux-Arts in Paris and the Bauhaus in Weimar, Germany.

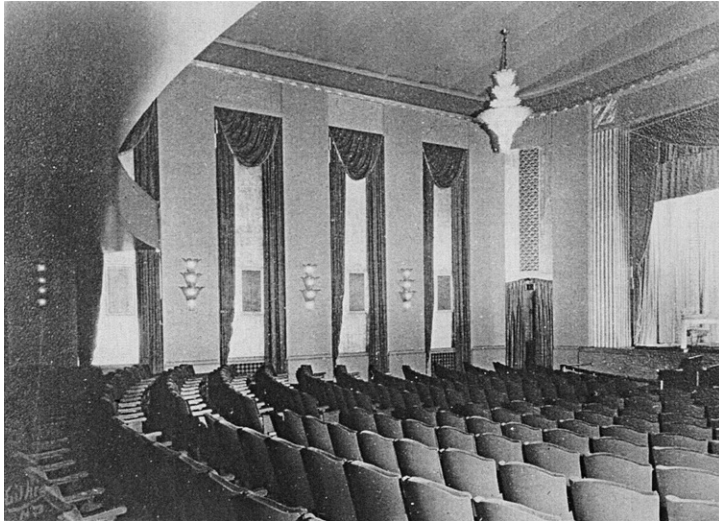


Photo: The Art Institute of Chicago, Ryerson and Burnham Archives, 1928-1929

These progressive ideals found resonance in the United States, where historic revival design had held sway since the end of the nineteenth century. The predominance of industry, the increasing sophistication of technology, and the desire for a new mode of expression that embraced

the present and future were common interests. Americans, who studied in Europe as John Holabird and John Root, Jr. had done at the Ecole des Beaux-Arts, incorporated these European ideas into their designs.

Description

The building occupies its entire lot and is a freestanding structure, having open frontage on 11th Street to its south and alleys on all three of its sides. The garden lot to the west of the building and the building to the east, 1014 South Michigan Avenue are both owned by Columbia College.

The Getz Theater Building is six stories with a small mezzanine level and one basement. It is a reinforced concrete frame structure (one way joists) on wood piles with limestone cladding on its primary 11th Street façade and on the one bay returns on the east and west side facades. The remaining east, west and north elevations are clad in brick with brick-like terra cotta window heads. Its Art Deco design is found in the details of the exterior more than in its overall massing, which is decidedly horizontal rather than vertical.

The front, 11th street façade is composed of two end bays with five center bays. The smooth limestone façade is divided into a first floor base, a vertically enhanced second and third floor section capped by a fourth floor of small window openings. The fifth and sixth floor cap the building with dark terra cotta spandrels providing a vertical accent to the grouped fifth and sixth floor windows. Limestone belts, cornices, carved spandrels and vertical flutes at windows returns are in shallow relief and

in the Art deco style.

Windows on the front façade, now replaced, were originally wood double hung with multiple lights. Windows on the side and rear facades remain the original multi-light metal sash.

The interior arrangement consists of three public floors. The tall theater space at the northwest corner of the building takes up the first and second floors. A mezzanine level wraps the theater on the northeast corner; the third floor level is raised here as a result.

Interior finishes included carefully matched wood veneers, decorative metal grilles, patterned terrazzo floors, and ornamental railings.

The architectural, finishes and furnishings of the building were all designed and selected by the firm of Holabird & Root demonstrating the ideal of the modern movement to encompass all decorative facets of the project. While the furnishings are gone, many interior finishes remain.

Overall, the building is in good condition and has a high degree of integrity.

Major Alterations

The Getz Theater Building has undergone alterations since its construction in 1928-29. In 1981 Columbia College began a five-year renovation program at the building. Major exterior alterations included the replacement of all windows on the primary façade with metal single

pane double hung and fixed sash, the removal of the revolving door at the east entrance, new entry doors, and the removal of two canopies and the installation of one canopy/marquees at the theater entry.

Interior modifications include general reconfiguration of the floors and theater remodeling consisting of new fixed seating, plaster wall modifications and improvements to the stage and back stage areas.

In 1983 a large studio addition, clad in ribbed sheet metal, was added infilling the original setback at the upper three floors of the northwest corner of the building. The addition consists of two tall stories set adjacent to floors 4, 5 and 6 of the original building.

The first floor gallery along the south wall was remodeled in 1984 and included the removal of some doors and the replacement of other interior doors with an aluminum and glass door system.

In 1986 remodeling was done on floors 3, 4 and 6 and included the removal of the fireplace in the library room, Room 304. Building permits between 1993 and 2004 indicate a “partial renovation” of all interior floors.

Exterior window boxes affixed to the façade under the second floor windows were removed in 1998 and exterior signage has been added.

Zone Numbers & Descriptions

The exterior and interior spaces of the Getz Theater Building, formerly the Chicago Women's Club Building, have been assigned zone level numbers which identify the level of significance that spaces possess. The zones identified are listed below.

Zone Level 1: Preservation

- 1A – Primary Exterior Elevation (South) and Returns (East and West)
- 1B – Getz Theater, West Lobby and Foyer
- 1C – Main Lobby and Main Stairway

Zone Level 2: Preservation

- 2A – Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)

Zone Level 3: Rehabilitation

- 3A – Secondary Exterior Elevations (West, North and East)
- 3B – Roof
- 3C – Classic Studio (101) and Art & Design Gallery (103)
- 3D – Second and Third Floor Elevator Lobbies
- 3E – Classrooms 307 and 309
- 3F – North and East Stairways and Freight Elevator

Zone Level 4: Free

- 4A – Non-historic / Significantly Altered Spaces and Addition

Detailed Zone Description – Zone 1: Preservation

<u>Zone number</u>	<u>Zone name</u>
1A	Primary Exterior Elevation (South) and Returns (East and West)

The Getz Theater Building, originally the Chicago Women's Club, was designed in the Art Deco Style. The building is six stories tall, with its primary elevation facing south on 11th Street. This façade is composed of two end bays and five center bays and is divided into a vertical first floor base, a vertical second and third floor, and a horizontally expressed fourth floor of small window openings capped by vertically emphasized window arrangements at the fifth and sixth floors. The facade is limestone with limestone belt courses and cornice, all of which continue at the one-bay returns on the east and west facades. Ornament includes carved stone details above the windows at the second, third and sixth floors and terra cotta spandrels between the fifth and sixth floor windows.



East entrance

The limestone elements are in fair condition and require routine maintenance including repointing and regular inspection. Deterioration consists primarily of spalls caused by corroded anchors and shelf angles.



South façade and west return

The building has entrances, framed with a cast stone surround, at each end of the façade. The east entrance is the main entrance to the building and its cast stone surround is accented with metal ornament. The cast stone is in fair to poor condition, while the bronze is in fair condition with some missing pieces. Deterioration of the cast stone is occurring primarily at the base of the wall and is possibly caused by deicing salts. The original revolving door has been replaced with a pair of aluminum doors. The west entrance leads to the Getz Theater lobby. The original metal doors and transom at this entrance have been replaced in aluminum. When these doors were replaced, the original transom grillwork was preserved and rehung on the interior of the transom. The original canopies that sheltered both entrances have been removed and a newer canopy has been installed over the west entrance.



West entrance

Alterations to the primary façade and returns include the replacement of original wood windows in aluminum, the removal of the original base trim, removal of entrance canopies and replacement of one. Despite these changes, the facade retains a high degree of integrity.

Architectural Recommendations

As a building eligible for Local Landmark Status and listing on the National Register, the character and qualities of the Getz Theater Building (Chicago Women's Club) should be maintained and preserved as the highest priority. The continued preservation of the exterior character of the building includes preserving its design, scale, materials and ornament. Work should be undertaken with the highest consideration to preserving the original design character and materials, and new work or repair should be completed in a manner sympathetic to the historic character of the building.

Historic elements of these facades have been rated for preservation. All of these elements appear to be in good to fair condition. If any of the historic material is deteriorated or damaged, sensitive repairs should be made; if missing or beyond repair, replication in identical materials is recommended.

- Continue regular façade inspections and maintenance.
- Repair limestone particularly at areas where corroding anchors have caused stone "pop outs". Deteriorated anchors and shelf angles should be cleaned or replaced as needed. Apply

corrosion protection, such as painting of anchors, angles and flashing. Voids resulting from spalls should be patched or filled with a permanent Dutchman repair.

- Repair the cast stone and bronze surrounds at both door openings. The missing bronze elements should be replicated and the bronze panel above the door should be restored.
- Restore base material along the primary façade. This missing material likely was cast stone. Install new base that replicates the original but is more durable.
- Install window boxes that were originally located below each of the second floor windows.
- Provide a canopy over each entrance to match originals. The canopy above the west entrance is not compatible with the historic character of the building. Historic photos and original architectural drawings exist and would allow for an accurate reproduction of the missing canopies.
- Evaluate options for reintroduction of a revolving door at the main (east) entrance.
- Preserve the terrazzo floor surface at the entrances.
- Avoid contact with detrimental deicing salts that can damage the wall surfaces and the terrazzo floors.
- Preserve limestone ornament. Two ornamented stone panels at the parapet were lost when the parapet was previously

repaired. Repairs should be made while retaining ornamented limestone. *Note: many limestone units have been left on the roof. These should be evaluated and units that may be reusable stored.*

- When replacement of the non-original windows and doors is considered, the new units should reflect the appearance of the original. This work should be done based on available historic documentation and should incorporate restoration of both materials and design including windows with multiple lights and entry doors of metal and glass.

Lighting Recommendations

The south elevation lighting of the Getz Theater Building, 72 E. 11th Street, has changed from the original design, but not drastically. Currently, there is downlighting at both entrances: the west entrance has incorporated downlights into the new canopy; while the east entrance, with its original canopy and revolving door removed, has a pair of recessed downlights above the new doors.

The original drawings by Holabird & Root show a single light in each canopy, as well as two lights located within the revolving door at the east entry. Only lighting wattages are noted. A photograph from 1930 shows a decorative fixture mounted to the underside of the west canopy, though it is too small to read any detail.

Though details of the original lighting are unknown, enough is known to

make reasonable decisions regarding the building's restoration.

- When replicating the original entry canopies, the installation of lighting fixtures to replicate the originals should be considered. Alternatively, inconspicuous downlighting may be integrated within the canopies. New fixtures should be sensitive to the architecture.
- Until the canopies are restored, replace the existing downlights in the west canopy and the east entrance. The current fixtures have lamps partially exposed, creating unnecessary glare, which may detract from the appearance of the building.

Mechanical/ Electrical Recommendations

- There are no significant mechanical intrusions on the main south façade. Continue to prevent the installation of window air conditioners, ventilation openings or other equipment on the primary façade.
- At the first floor level, the return on the west wall appears to have been changed. Installed in bricked up window openings is a fire department hose connection and fire alarm bell. If restored, the elements would be moved.

Detailed Zone Description – Zone 1: Preservation

<u>Zone number</u>	<u>Zone name</u>
1B	Getz Theater, West Lobby and Foyer

The Getz Theater is a tall one-story space within the west half of the first and second floors. The Theater is arranged with the stage at the north end and a curved balcony at the south. An internal stair at the rear provides access to the balcony, first floor and basement. The Theater's main entrance is accessed from the West Lobby. A secondary door, located at the rear of the east Theater wall, leads into the Foyer, which adjoins the building's main circulation. The stage has been extended over the orchestra pit, which remains below.



Getz Theater

Despite modifications, most original surfaces and elements remain and the Theater retains a high degree of integrity. The walls are of flat plaster with insets along the east and west sides. (The stepped detail within each inset is a later addition.) The east and west walls have wood wainscoting and trim. The main ceiling is of scalloped plaster with flat plaster at the perimeter and a flat plaster soffit beneath the balcony. The floor is concrete that has been recarpeted and the original fixed seating has been replaced. The design of the ornamented railing for the rear stair is the same as the building's Main Stairway.

The Theater is detailed with a variety of plaster ornament including: grillwork in the ceilings, cornice molding, panels above each wall inset, and frames around the metal grillwork within each wall inset. Four, incised-line details remain at the main ceiling where original light fixtures were hung. The proscenium arch at the stage is intact and features reeded plaster walls with ornamental plaster trim and medallions across the flat arch. Flanking the stage are concave plaster walls with plaster framed door openings. Above each opening is a large cast iron grille, vertically oriented.

The West Lobby includes an entrance vestibule. The walls are plaster with areas of gypsum board at the west wall, where windows have been filled in, and at altered door openings on the north, east and south walls. The vestibule doors and the doors to the Club Room (Art & Design Gallery, 103) have been replaced in aluminum. The Theater doors were replaced with shorter wood doors.



West Lobby

The ceiling is of flat plaster with a stepped detail around the perimeter and a plaster cornice molding. The walls are plaster, with areas of gypsum board. The floor of the Lobby is carpeted, however original drawings show a terrazzo floor, which may remain. The vestibule has terrazzo flooring with a recessed mat. The original box office window is located at the east wall and has an etched glass window set in wood. Metal grilles are located along the west wall. The vestibule has a large metal grille at the east wall, opposite an original wood closet door.



Foyer

The Foyer originally served as a circulation space between the Theater, the Club Room (Art & Design Gallery, 103) and the Assembly Room (Classic Studio, 101). The original wood paneling of the Foyer has been removed or covered with gypsum board. The ceiling is of flat plaster, detailed with concave banding at the perimeter. The floor is of patterned terrazzo. Doors to the Theater, Club Room and Assembly Room have all been replaced with newer wood panel doors.

The West Lobby and Foyer are important circulation spaces for the Getz Theater and the first floor. Due to alterations these spaces have a medium degree of integrity.

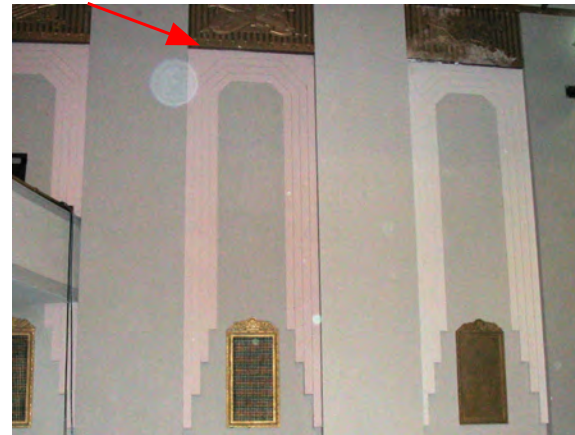
Architectural Recommendations

The Getz Theater, West Lobby and Foyer are highly significant spaces in the building, exhibiting distinctive qualities, original materials and elements and a high level of finish detail. As such they have been designated as a Zone Level 1: Preservation. The character, configuration and qualities of these spaces should be maintained and preserved as the highest priority. These spaces are well maintained and with some exceptions, have been preserved in their original design. Work in these spaces should be undertaken with the highest consideration to preserving the original design character and materials, and new work or repair should be completed in a manner sympathetic to the historic character of the spaces.

Original elements have been rated for preservation and appear to be in good to fair condition. If any of the original material is damaged, sensitive repairs should be made; and if beyond repair, replication in identical materials is recommended.

- Preserve the Theater. While theater modifications may be required to make functional for Columbia's theater needs, efforts should be made to retain original elements and to restore missing elements based on the historic documentation. Restoration would include: the removal of the gypsum board wall additions; repair of the plaster walls, ceilings, proscenium and ornament, installation of new curtains in the wall insets and an historically appropriate paint scheme. New elements and modifications should be appropriate to the historic

character of the space.



Non-original wall surfaces should be removed

- Restore the West Lobby and Foyer. Removal of the gypsum board walls and restoration of the original wall surfaces would greatly improve the appearance and integrity of these spaces.

Lighting Recommendations

Within the Getz Theater, the lighting layout has changed considerably since the building was originally designed. The current lighting scheme consists of numerous incandescent downlights with white concentric ring louvers. The original layout used significantly fewer fixtures with higher wattages to illuminate the seating area. On the lower level, there were three fixtures beneath the balcony, as well as a series of steplights located along the central aisle. Tall sconces were mounted around the three sides of the audience; their locations can be seen in the drawings.

Historical photographs show the style and scale of these sconces.

The balcony utilized a similar layout to the floor level seating, with two large fixtures above the balcony seats and steplights down the aisles. One sconce appears to have been placed at the top landing of the stairs. In addition, four chandeliers were suspended above the audience in front of the balcony, and the four plaster ornaments marking their locations are still visible. These fixtures are visible in the historical photographs; they appear to be of the same family as the wall sconces.

The west lobby has seen alterations to the lighting layout as well. The current layout includes a grid of ten recessed downlights with gold cones, two marquis-style sconces flanking the box office window, and a ceiling-mounted fixture in the vestibule which is in the same family as the sconces. None of these fixtures appear to be original, though the vestibule fixture appears to be in the same location as one of the fixtures shown on the plans.

The original lighting scheme only included four fixtures: the aforementioned vestibule fixture; one central fixture, most likely a pendant; and two sconces mounted on the west wall. No evidence remains to point to what these fixtures might have been.

Similarly, the foyer's original lighting has been replaced with a grid of downlights. The original layout consisted of two pendants, centered along the east-west axis of the room and not quite aligned with the doors on the north wall. One of the available historical photographs

shows these fixtures.

Though details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

- Since the original lighting with the Getz Theater may not be considered adequate by today's standards, any changes made should be sympathetic to the architecture. Decorative fixtures selected and/or designed to reflect the originals should be installed in the original locations, while additional lighting should be integrated carefully into the architecture and decorative fixtures so as to be unnoticeable.
- Similar treatments should be considered for the west lobby and foyer, replicating the original lighting fixtures based on historic documentation and minimizing the appearance and impact of additional lighting systems.

Mechanical/ Electrical Recommendations

- The existing added electrical features include code-required exit and emergency lighting and security devices. When the theater and west lobby are restored these items should be replaced with concealed type fixtures.
- The performance lighting in the theater will evolve with changes in technology and space usage. The theater lighting will have permanent structures and wiring that can not be concealed. New theater lighting should be sympathetic to historic features.

- When the central HVAC equipment is replaced, the piping and ductwork pathways should be reused.

Detailed Zone Description – Zone 1: Preservation

<u>Zone number</u>	<u>Zone name</u>
1C	Main Lobby and Main Stairway

The Main Lobby is located at the east end of the building and provides access to the elevators and the Main Stairway. The lobby has a patterned terrazzo floor and a flat plaster ceiling with a chevron profile along the perimeter. The original wood paneled walls have been removed or covered with gypsum board. (The original wood cornice molding is visible beneath the gypsum.) An original metal grille remains in the wall above the main entrance. Due to alterations, the Lobby has a medium degree of integrity.



Main Lobby



Main Stairway

The Main Stairway is semi-circular in plan with a curved plaster outer wall and an open well. The walls, ceiling and stair soffits are of plaster. The stair treads and risers are terrazzo with black terrazzo base trim along the wall of the stair and landings. The floor of the landings is of patterned terrazzo, with grey terrazzo at the basement. A cast iron stringer panel with trim follows the inside curve of the stair. The railing consists of a metal balustrade in a swag design capped with a nickel silver handrail. A similar handrail is attached to the outside plaster wall. The Main Stairway is essentially unaltered and retains a high degree of integrity.

Architectural Recommendations

The Main Lobby and Main Stairway are significant spaces in the building, exhibiting distinctive qualities, original materials and elements,

and a high level of finish detail. As primary circulation spaces for the building, the lobby and stairway have been designated as a Zone Level 1: Preservation. The character, configuration and qualities of these spaces should be maintained and preserved as the highest priority. These spaces are well maintained and with some exceptions, have been preserved in their original design. Work in these spaces should be undertaken with the highest consideration to preserving the original design character and materials, and new work or repair should be completed in a manner sympathetic to the historic character of the spaces.

Original elements have been rated for preservation and appear to be in good to fair condition. If any of the original material is damaged, sensitive repairs should be made; and if beyond repair, replication in identical materials is recommended.

- Uncover and restore original wall surfaces in the Main Lobby to improve the appearance and integrity.
- Repair terrazzo base at the Main Stairway. The terrazzo base along the walls shows general wear. Missing terrazzo should be replaced in-kind and damaged terrazzo repaired.
- Apply an historically accurate color/finish scheme in the Main Stairway to enhance the appearance of the stair and complement the existing terrazzo.
- Organize and locate the newspaper boxes, free standing signage and other containers to minimize a cluttered

appearance.

Lighting Recommendations

The original lighting design for the main lobby was essentially a mirror image of that in the west lobby. The current grid of downlights has replaced a large central fixture, whose original location is still marked by a junction box cover. Two sconces were mounted to the east wall; though their locations are no longer apparent, they are noted on the original drawings. A similar pair of sconces flanks the entry to the foyer from the elevator lobby. The telephone booths in the main lobby, with their integral door-activated downlights, do not appear to be original.

Currently, the main stairway is illuminated with wall-mounted, lensed, linear fluorescent fixtures at each landing. Battery-powered units are installed for emergency lighting. The original lighting scheme used one ceiling-mounted light fixture at the center of each landing.

Though details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

- Replace the fixtures with new ones sympathetic to the original style and architecture. As necessary, additional lighting should be added, but integrated into the architecture or decorative fixtures so as to remain as inconspicuous as possible. All unnecessary non-historic fixtures should be removed.

- If permissible by code, battery-powered emergency units should be removed. Emergency lighting should be provided through emergency circuits in architectural light fixtures.

Mechanical/ Electrical Recommendations

- The existing added electrical features include code-required exit and emergency lighting and security devices. When the lobby and stair are restored these items should be replaced with concealed type fixtures.
- When the central HVAC equipment is replaced, the piping and ductwork pathways should be reused.

Detailed Zone Description – Zone 2: Preservation

<u>Zone number</u>	<u>Zone name</u>
2A	Theater Classrooms (207 and 211) and Acting Studios (301, 303, and 305)

The Chicago Women's Club Building was designed with rooms to accommodate social functions and gatherings. Among these rooms were the Main Dining Room on the second floor (Theater Classrooms 207 and 211), and the Lounge on the third floor (Acting Studios 301, 303 and 305). These rooms are located at the south end of the building and originally extended the entire width of the building.



Main Dining Room (Theater Classroom 207)

The second floor Dining Room has flat plaster walls, boxed out between the windows to enclose radiators. The walls are detailed with raised

plaster panels and have canted edges, featuring ornamented, wall to ceiling grilles. Black marble is used for the wall base trim and the window stools.



Ceiling and wall detail of Main Dining Room

The ceiling is plaster and consists of boxed beams spanning the short length of the room and scalloped surfaces in the recesses between the beams. Ornamented plaster trim runs along the edges of the beams and the perimeter of the room. The ceiling is partially obscured by suspended fluorescent light fixtures and acoustical tile baffles.

The north entrance to the room was originally open to the elevator lobby. This opening has been filled in to accommodate a single door. The original doors at the other two openings have been replaced with wood

panel doors. The floors are covered with built up plywood under a dance floor surface.



Lounge (Acting Studio 305)

The third floor Lounge has wood paneled walls with black marble base trim. The flat paneled wall surface is articulated with vertical bands of fluting at original wall sconce locations, and stepped out surfaces around the fireplace on each the east and west walls. The ceiling is of flat plaster with a stepped design around the perimeter and is partially obscured by suspended light fixtures and acoustic baffles.

Ornamental details are in a stylized foliate motif, typical to other ornament in the building. Wood composition ornament includes wall trim, cornice molding and grilles above window and door openings. Radiators are located under the windows and are enclosed in wood with an ornamented metal grille at the floor. On either end of the north wall

is a cast iron frame that originally contained a mirror. Cast iron grilles are located above and below the frame. Console tables were originally located at each mirror.

Along the north wall are a series of door openings that originally opened to the Foyer. Each opening has been filled in with gypsum board to accommodate a single door. The door to the Library (307) has been removed or walled over, creating a niche that has been faux painted.



Detail of fireplace in Lounge

Despite alterations, the second and third floor rooms retain a high degree of integrity.

Impact Zone Overlay:

Gypsum board walls were built in the mid to late 1980s to subdivide the large, second and third floor rooms into smaller classrooms.

Architectural Recommendations

The Theater Classrooms (207 and 211) and Acting Studios (301, 303, and 305) exhibit distinguishing qualities and, original materials and elements. These spaces are important to defining the unique character of the building. Every effort should be made to maintain and preserve the character and qualities of this zone, including the scale, ornament, materials and use. Any new work should be completed in a manner sympathetic to the historic character of the space.

Original elements have been rated for preservation and appear to be in good to fair condition. If any of the original material is damaged, sensitive repairs should be made; and if beyond repair, replication in identical materials is recommended.

- Repair and maintain wood paneling. The paneling in the Lounge (Acting Studios) requires routine maintenance. The application of a UV film on or at the windows in these rooms would help to prevent further degradation of the wood paneling. Some areas of the paneling are bowed. Determine causes of the bowing and repair.
- Maintain composition ornament trim in the Lounge (Acting Studios). The composition ornament appears to be in good

condition; however some of the ornament has been painted. This paint should be removed.

- Repair marble base. The marble base in these rooms is in fair condition, with minor cracks and chips. In room 305, portions of the marble are more severely damaged and broken into pieces. The marble base should be repaired and replaced in kind when repair is not feasible.
- If the use of these rooms change, assess options for returning these rooms to their original configuration.
- If the use of these rooms change, consider restoring the plaster ceilings. Acoustic tile baffles have been hung from the ceilings of all rooms in this zone. While these may be necessary for the current use, the baffles detract from the appearance of these spaces. These baffles are reversible and their removal would improve the appearance and integrity of these rooms. In addition to the baffles, acoustic tile has been applied to the ceilings of the Lounge (Acting Studios). These tiles should also be removed. After removal of the acoustic elements, repair the plaster ceilings as needed.
- Reinstall mirrors into the cast iron frames on the north wall of rooms 301 and 305.

Lighting Recommendations

The theater classrooms on the second floor, formerly the main dining room, have had their lighting systems significantly altered from the

original designs. The current lighting system consists of a grid of pendants with exposed incandescent A lamps. It appears as though the pendants had shades or diffusers at one point, but all have since been removed. Three double-headed spotlights are mounted to the side of a coffer at the west end of Room 211, but these no longer appear to be in use, and no evidence of them appears on the original plans. The locations of sconces, part of the original design, are still marked with junction box covers. Eight chandeliers appear to have provided most of the lighting in the original space; their locations are noted in the original plans.

The third floor's acting studios, which were previously the lounge, have seen lighting changes similar to the main dining room. RLM-style pendants hang in a grid within the suspended acoustic panels. Junction box covers have been placed at former sconce locations on the fluted columns; locations and elevation sketches of these sconces are available in the drawings. To complement the sconces, the original drawings included four chandeliers. In historical photographs, these chandeliers appear to have been supplanted by table and floor lamps for general illumination.

Though certain details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

- Where the information is available, as for the lounge sconces, every effort should be made to replicate the original lighting as

accurately as possible. This includes creating new fixtures or finding vintage fixtures. The design of the fixtures, including ornamentation, materials and lamping, should remain true to the architectural style of the time.

- The current light fixtures should be replaced with fixtures sympathetic to the original architecture in the original locations. Decorative fixtures may be supplemented as needed with functional lighting, although any non-historic fixtures should remain as inconspicuous as possible.

Mechanical/ Electrical Recommendations

- Replace grilles above doors with units that are complimentary to the architectural style of the room.
- To improve temperature control in the larger areas additional HVAC work is necessary.

Detailed Zone Description – Zone 3: Rehabilitation

<u>Zone number</u>	<u>Zone name</u>
3A	Secondary Exterior Elevations (West, North and East)

The West, North and East facades of the building are clad in brick with terra cotta at window lintels (resembling brick). The texture of the brick suggests possible sandblasting in the past. Originally, the fourth through sixth floor plans were 'T' shaped. The light court at the northwest corner has been filled in with a sheet-metal clad addition.



North and east facades

None of the original wood windows exist. Most have been replaced in aluminum, while the rest of the window openings have been bricked in, boarded over or filled in with louvers. At the north façade, additional

openings have been made for louvers. All original doors have been replaced with steel doors. The original door frame and transom remains for the rear stair exit and most of the fire escape exits. The fire escape, which is original to the building, is located at the south end of the west façade.



Detail of alley (east) façade

Architectural Recommendations

The West, North and East elevations, as secondary façades, have been assigned Zone Level 3: Rehabilitation. These are areas modest in nature, not highly ornamented but with historic features and materials which have been preserved and maintained. Historic elements appear to be in good to fair condition. There should be continued preservation of the brick masonry, limestone lintels and terra cotta window heads. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods and materials may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- Continue regular façade inspections and maintenance.
- Inspect the limestone lintels and terra cotta window heads regularly to identify areas of failure for repair.

Lighting Recommendations

- The surface mounted light fixtures and conduit should be replaced with luminaires that provide security, minimum glare and minimum interruption especially on the north and west elevations.

Mechanical/ Electrical Recommendations

- Ventilation louvers on the secondary elevations need refinishing. If replacement becomes necessary, or if the function of the louvers changes, then moving the outlets or

inlets to roofs should be considered.

Detailed Zone Description – Zone 3: Rehabilitation

<u>Zone number</u>	<u>Zone name</u>
3B	Roof

The flat roof is surfaced with a built-up bituminous material and is surrounded by a brick parapet with stone coping. Two penthouses are located on the roof. The north penthouse contains the rear stairs and freight elevator operating equipment. The east penthouse contains equipment for the passenger elevators. Both penthouses are of brick with stone coping. The texture of the brick suggests possible sandblasting in the past. An original metal chimney is located atop the north penthouse. Original brick chimneys with stone coping are located at the south end of the east and west walls.



View of roof surface, looking northwest

Cautionary Zone Overlay:

Elevator equipment is located in the north and east penthouses.

Architectural Recommendations

The roof has been assigned Zone Level 3: Rehabilitation because additions and alterations to the roof can impact the Primary Facade of the building. Elements that have been identified as historically important, such as the brick and limestone masonry at the chimneys, penthouses and parapets, should be preserved. Elements visible from the ground should be maintained and if necessary replaced with compatible material and design. Most elements appear to be in good to fair condition. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- Repair/Replace roof. The roof is in poor condition with areas of standing water and erosion. This condition could compromise historic fabric.

Mechanical / Electrical Recommendations

Presently all equipment at the roof is contained within the original elevator and stair penthouses and there is a minimum amount of equipment (an exhaust fan and air intake hood) located on the surface of the roof.

- As the cycle of updating and replacing mechanical equipment

continues, new systems should be designed, in part to incorporate sensitive placement of equipment, including communications equipment, keeping profiles low, and locating equipment away from the perimeter so it will continue to not be visible from grade. As equipment become obsolete it should be removed.

Detailed Zone Description – Zone 3: Rehabilitation

<u>Zone number</u>	<u>Zone name</u>
3C	Classic Studio (101) and Art & Design Gallery (103)

The Assembly Room (Classic Studio, 101) and Club Room (Art & Design Gallery, 103) are on the first floor, off the Theater Foyer and originally served as social gathering spaces. Both rooms have undergone moderate alterations; however they retain a large amount of original surfaces and ornament.



Assembly Room (Classic Studio, 101)

The Assembly Room has a wood floor laid in a herringbone pattern. The walls are of flat plaster with plaster cornice molding. Decorative wood grilles, alternating with raised plaster panels, are spaced evenly along the east and west walls. The center portion of each wood grille has

been boarded over. The room has a flat plaster ceiling that is mostly obscured by suspended lighting and equipment. The walls and ceiling have all been painted black.



Club Room (Art & Design Gallery, 103)

Two door openings are located on each the north and south walls. All doors have been replaced with newer wood panel doors. The openings along the south wall originally had double doors and have been in-filled to accommodate the smaller doors.

The Club Room has a patterned terrazzo floor and the walls are gypsum board with wood base trim. Gypsum board partitions have been built out perpendicular to the perimeter walls to increase gallery wall space. The ceiling is of flat plaster with regularly spaced, shallow soffits running the width of the room.



Vestibule viewed from Club Room (Art & Design Gallery, 103)

A pair of wood doors originally provided access into the Club Room from the Foyer. These doors entered into a square vestibule between two narrow rooms. Original elements within these rooms include wood doors, plaster walls and built-in cabinets.

The original double doors to the Foyer were relocated from the north to the south side of the vestibule and the north opening was filled in to

accommodate a single door. The doors at the east and west end of the Club Room have been replaced in aluminum.

Some elements at 72 East 11th Street have been salvaged. The items, referred to as “Attic Stock”, were not surveyed individually and consist of original architectural elements that have been removed from the building and are being held for future re-installation such as light fixtures from the first floor. As original architectural features of the building, these elements should be preserved and reinstalled when appropriate.

Impact Zone Overlay:

The northwest corner of the Assembly Room (Classic Studio, 101) has been built out with a control booth.

In the Club Room (Art & Design Gallery, 103) gypsum board has been applied to all walls and covers the original plaster and the exterior windows.

Architectural Recommendations

The Classic Studio (101) and Art & Design Gallery (103) have been assigned Zone Level 3: Rehabilitation. These are areas modest in nature, not highly ornamented but with historic features which have been preserved and maintained. Historic elements have been rated for preservation and appear to be in good to fair condition. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively

incorporated. New work in this zone should respect the existing historic fabric.

- Assess options for restoring the Assembly Room and/or the Club Room to their original use as gathering spaces.
- If the use of these rooms change, consider restoring the Club Room (Art & Design Gallery) using original drawings, renovation drawings and historic photos. Restoration would require removal of the newer gypsum board walls and restoration of the plaster wall surface beneath, if it remains. Original decorative elements may also remain beneath the gypsum board.
- Uncover the original window openings of the Club Room (Art & Design Gallery) that have been covered with a gypsum wall and are inaccessible.
- Restore the Assembly Room (Classic Studio). Most original elements of this space remain for reference. Restoration would consist of removing the stage lighting equipment and booth, restoring the flat plaster ceiling, restoring the ornamented grilles at the walls and repairing the plaster walls. [Historic drawings and photographs exist that would assist in an accurate restoration.]
- Restore the mirrors at the wood grilles in the Assembly Room (Classic Studio). The grilles appear to be in fair condition. Historic photographs show mirrors at the center portion of the grille that is now boarded over. These mirrors may remain

beneath the boards.

- Repair plaster as needed. The plaster appears to be in fair condition at the walls and ceiling of the Assembly Room and in good condition at the ceiling of the Club Room.
- Remove paint from wood doors. The wood doors in the Club Room appear to be in good condition; however they have been painted numerous times and have become difficult to operate. The paint should be stripped from the doors and casings and these elements should be restored to their historic appearance.
- There should be continued preservation of historic materials and configurations.

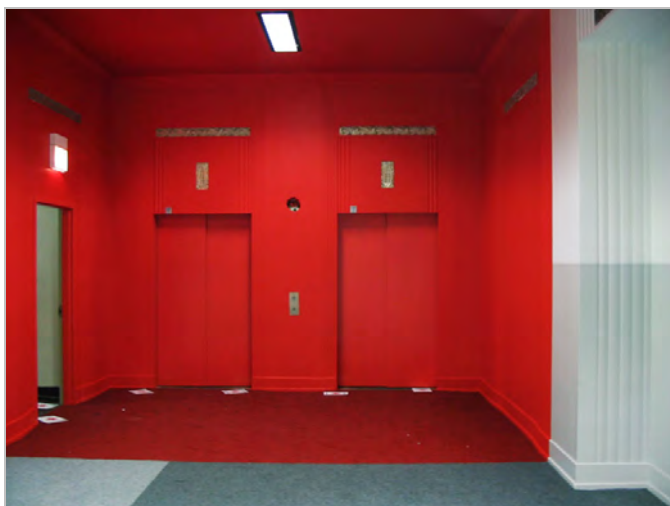
Mechanical/ Electrical Recommendations

The existing mechanical and electrical distribution in these areas will have to be modified with any restoration work.

Detailed Zone Description – Zone 3: Rehabilitation

<u>Zone number</u>	<u>Zone name</u>
3D	Second and Third Floor Elevator Lobbies

The Second Floor Elevator Lobby has flat plaster walls with stepped and reeded plaster details and wood base trim. The ceiling is of flat plaster and has a plaster cornice molding around the perimeter. Plaster ornament in a stylized leaf design is located above the elevator doors and the door to the main stair. A metal grille of similar design is located above the door to room 207, the Main Dining Room. The door opening to this room is framed with plaster reeding.

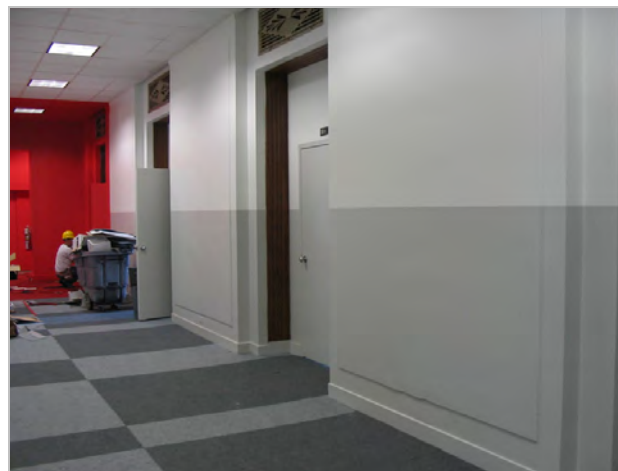


Second Floor Elevator Lobby

The Third Floor Elevator Lobby and Foyer (302, 304, 306 and present corridor) were designed as a reception area for the Lounge (301, 303

and 305), Library (307) and Board Room (309). The Foyer has been in-filled with rooms 302, 304 and 306.

Four large openings are located along the south wall and provide access to the original Lounge (310, 303 and 305). Each opening is framed in reeded wood and has a decorative metal grille located above. Matching metal grilles are located above each corridor opening to the north.



Third Floor Foyer, south wall with elevator lobby in background

The walls are of flat plaster with raised plaster panels between openings and set backs at the openings. Wood trim is located at the base of the wall and plaster wall trim is located just below a dropped ceiling. The original plaster ceiling is presumably under the suspended acoustical tile. Except for the patterned terrazzo floor at the elevators, the floor was originally carpeted. The entire floor, including the terrazzo, has recently been recarpeted.



Third Floor Foyer, looking north along east wall

A terrazzo stair with a metal handrail is located at the end of the east corridor and provides access to the north east corner of the floor, which is raised to accommodate the mezzanine floor below.

Impact Zone Overlay:

Rooms 302, 304 and 306 have been built out into the Third Floor Foyer. These rooms are primarily used for storage.

Architectural Recommendations

The Second and Third Floor Elevator Lobbies have been assigned Zone Level 3: Rehabilitation. These are areas modest in nature, not highly ornamented but with historic features which have been preserved and maintained. Historic elements of these facades have been rated for

preservation and appear to be in good to fair condition. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- Evaluate opportunities to remove newer construction (Rooms 302, 304 and 306, door opening infills and dropped ceiling) to return the Third Floor Lobby to its original configuration.
- Restore terrazzo in the third floor elevator lobby.
- There should be continued preservation of historic materials and configurations.

Mechanical/ Electrical Recommendations

Moving of electrical and mechanical distribution through the lobbies and stairways may be necessary with any restoration work.

Detailed Zone Description – Zone 3: Rehabilitation

<u>Zone number</u>	<u>Zone name</u>
3E	Classrooms 307 and 309

Room 307, originally the Library, has flat plaster walls with a stepped design around openings. Wall detailing includes raised plaster panels, plaster trim and black marble base trim. The cornice molding is plaster, ornamented with a stylized leaf design similar to ornament found elsewhere in the building. The ceiling is of flat plaster that is stepped around the perimeter. The floor was originally carpeted and has since been recarpeted.

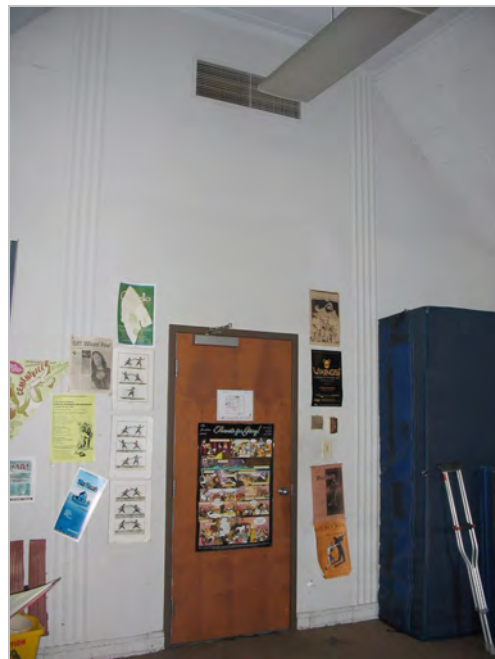


Library (Room 307), general view (left) and detail of built-in shelving (right)



Three built-in shelving units remain along the south and north walls. The two narrow units that flanked the window on the west wall have been removed or covered over. Below the window is an ornamented radiator

grille that is similar in design to the grilles found in the Third Floor Lobby. The fireplace that was located at the center of the north wall has been removed and the opening has been walled over.



Board Room (Room 309), general view of wall surface and vaulted ceiling

Room 309, originally the Board Room, is rectangular in plan with a vaulted ceiling. The walls are flat plaster with wood base trim and the door opening is flanked with reeded plaster. An original metal grille is located below the window on the west wall. The ceiling is flat plaster with a plaster cornice molding and stepped surface around the perimeter of the horizontal portion of the ceiling. Acoustical tile has

been applied to the sloped sides of the ceiling. The floor was originally

Some elements at 72 East 11th Street have been salvaged. The items, referred to as “Attic Stock”, were not surveyed individually and consist of original architectural elements that have been removed from the building and are being held for future re-installation such as a metal mirror frame from library. As original architectural features of the building, these elements should be preserved and reinstalled when appropriate.

Architectural Recommendations

Room 307, originally the Library and Room 309, originally the Board Room have been assigned Zone Level 3: Rehabilitation. This is an area modest in nature, not highly ornamented but with historic features which have been preserved and maintained. Historic elements have been rated for preservation and appear to be in good to fair condition. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- Retain original ornament. The louver above the door in the Library replaced an ornamented plaster panel. In the future, avoid removing ornament to install mechanical equipment and accessories.
- Restore plaster ceilings. Acoustic tile baffles have been hung

from the ceiling of the Library (Room 307). While these may be necessary for the current use, the baffles detract from the appearance of the room. The baffles are reversible and their removal will improve the appearance and integrity of the room. Additionally, acoustic tile has been applied to the ceilings of both rooms. These tiles should also be removed. After removal of the acoustic elements, repair the plaster ceilings as needed.

- There should be continued preservation of historic materials and configurations.

Mechanical/ Electrical Recommendations

- Replace non-original grille with unit that is complimentary to the room.

Detailed Zone Description – Zone 3: Rehabilitation

<u>Zone number</u>	<u>Zone name</u>
3F	North and East Stairways and Freight Elevator

The North Stairway is the secondary stair for the building and is located at the rear of the building. It is a steel structure with concrete treads and landings. The metal railings and newel posts are utilitarian in design. The walls and ceiling of the stairwell are plaster and the basement floor is concrete. The building's freight elevator is accessible via the North Stairway.



North Stairway



East Stairway

The East Stairway begins at the fourth floor and continues through the sixth floor. It is a steel structure with concrete treads and landings. The balustrade, handrail and newel post are all wood. The walls and ceiling of the stairwell are plaster.

Cautionary Zone Overlay:

The freight elevator shaft extends from the pit in the basement to the roof penthouse where the operating equipment is located.

Architectural Recommendations

The North and East Stairways and Freight Elevator have been assigned Zone Level 3: Rehabilitation. This is an area modest in nature, not highly ornamented but with historic features which have been preserved and maintained. Original elements have been rated for preservation and appear to be in good condition. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- There should be continued preservation of the historic materials and configuration.

Mechanical/ Electrical Recommendations

- Lighting, including emergency lighting should be reviewed and modified as necessary with any upgrade of the north stairwell.
- Piping and conduit intrusions should be reviewed for relocation when restoration work occurs.

Detailed Zone Description – Zone 4: Free

<u>Zone number</u>	<u>Zone name</u>
4A	Non-historic / Significantly Altered Spaces and Addition

This zone encompasses secondary spaces on all floors of the building, including the basement, mezzanine and two-story addition at the northwest corner of the building. Many of these spaces have been reconfigured from their original layout and few original materials and finishes remain. Others are completely new construction. Among these spaces are classrooms, offices, studios, auxiliary theater spaces, storage, lounges and toilet rooms. The passenger elevators as well as mechanical and electrical rooms have also been included in this zone.



Typical corridor

Generally these areas have painted gypsum board walls, carpeted floors and acoustical tile ceilings. Historic elements that remain in this zone include the quarry tile floor where the original, second floor, kitchen was located, marble wall surfaces in former restrooms and a metal grille in Classroom 311, which was originally a private dining room. Marble window stools, wood trim and cornice moldings, terrazzo floor surfaces, wood doors, and hardware also remain as well as some original plaster walls and ceilings.

Cautionary Zone Overlay:

The majority of the mechanical and electrical equipment is located in the basement. The Boiler Room is in the northwest corner of the basement and contains three steam boilers, feed and return pumps, domestic water heaters and storage tank, sewage ejector, abandoned oil tank, fire protection water service fittings, gas meter and booster pump, and abandoned hydro-pneumatic tank (possibly for operating the theater curtain). The Fan Room is in the northeast corner of the basement and contains air handlers serving the first floor theater and classroom spaces, domestic water booster pumps and pressure tank, and air compressors. The Electrical Rooms, adjacent to the Fan Room, contain a switchboard, distribution panels and the fire alarm panel. The Storage Room along the west wall contains the water meter. An additional Electrical Room at the south wall contains the main electrical service and switchboard (rated at 2000 amps). The southwest technical space has the water service, sewer connections and the basement black box theater HVAC equipment.

Mechanical closets on the 1st through 6th floors (excluding the mezzanine) contain air conditioners and air handling units. The sixth floor closet additionally has an exhaust-return fan. Closets on these floors also contain electrical panels and telephone equipment.

The passenger elevator shaft extends from the pit in the basement to the roof penthouse where the operating equipment is located.

There are darkroom areas where chemicals, potentially flammable, are stored in sealed containers. Because these containers are highly transportable, a specific location for them has not been designated as an overlay, it should simply be recognized that these materials are present in the darkroom areas.

Architectural Recommendations

The basement, 4th through 6th floors, and secondary spaces on the remaining floors have been designated as Zone Level 4: Free. This area has a limited amount of historic fabric and has undergone extensive redesign and renovation. Treatments, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials, and designs. Historic elements identified within this zone have been rated for preservation and appear to be in good to fair condition.

Mechanical / Electrical Recommendations

The HVAC and electrical distribution in the upper floors is via the corridor ceilings. It will be difficult to reclaim the corridor ceiling spaces and retain MEP distribution on these floors.

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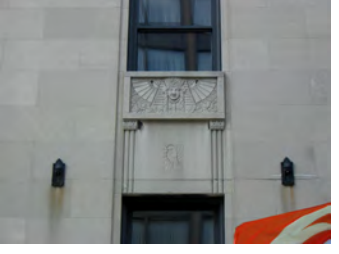
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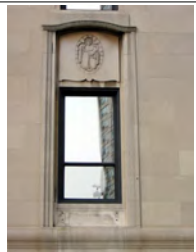

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Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1A - Primary Exterior Elevation (South) and Returns (East and West)	Cornice	Limestone	1	Good Fair Poor Unknown Total:	lf 139 lf lf lf 139 lf	 72_0903_0030.jpg
1A - Primary Exterior Elevation (South) and Returns (East and West)	Entry Floor Surface	Terrazzo	1	Good Fair Poor Unknown Total:	sf 20 sf sf sf 20 sf	 72_0211_0009.jpg
1A - Primary Exterior Elevation (South) and Returns (East and West)	Parapet	Limestone Coping	1	Good Fair Poor Unknown Total:	lf 139 lf lf lf 139 lf	 72_0909_0004.jpg
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Ornament	Canopy Brackets	1	Good Fair Poor Unknown Total:	4 each each each each 4 each	 72_0903_0029.jpg




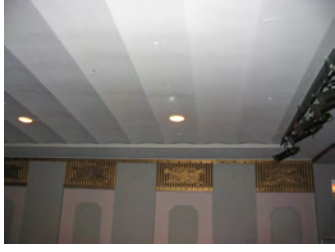
Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Ornament	Carved Stone	1	Good Fair Poor Unknown Total:	sf 540 sf sf sf 540 sf	 72_0903_0027.jpg
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Ornament	Cast Stone and Bronze Door Surround	1	Good Fair Poor Unknown Total:	sf 160 sf sf sf 160 sf	 72_0903_0025.jpg
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Surface	Glazed Terra Cotta	1	Good Fair Poor Unknown Total:	120 sf sf sf sf 120 sf	 72_0903_0028.jpg
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Surface	Limestone	1	Good Fair Poor Unknown Total:	sf 8,025 sf sf sf 8,025 sf	 72_0903_0024.jpg


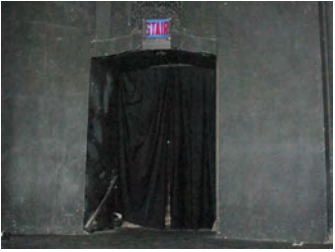


Zone Number & Description	Element Name	Description	Rating
1A - Primary Exterior Elevation (South) and Returns (East and West)	Entry Ceiling Surface	Cement Plaster	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Door	Aluminum and Glass	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Door	Aluminum, Transom	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Door Frame	Aluminum	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Door Hardware	Aluminum	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Window Casing/Trim	Aluminum	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Window Finish	Factory Finish	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Window Frame	Aluminum	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Window Glazing	Insulated Glass	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Exterior Window Sash	Aluminum, Double Hung	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Lighting	Wall Mounted Fixture	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Intrusions	Canopy	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Intrusions	Display Case	6




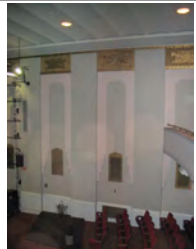
Zone Number & Description	Element Name	Description	Rating
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Intrusions	Flag Pole/Mount	6
1A - Primary Exterior Elevation (South) and Returns (East and West)	Wall Intrusions	Signage	6




Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Getz Theater, West Lobby and Foyer	Floor Surface	Terrazzo	1	Good Fair Poor Unknown Total:	sf 970 sf sf sf 970 sf	 72_1129_0005.jpg
1B - Getz Theater, West Lobby and Foyer	Interior Window Glazing	Etched Plate Glass	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0901_0013.JPG
1B - Getz Theater, West Lobby and Foyer	Stair Railing	Cast and Wrought Iron	1	Good Fair Poor Unknown Total:	30 lf lf lf lf 30 lf	 72_0901_0006.JPG
1B - Getz Theater, West Lobby and Foyer	Stair Railing	Nickle Silver	1	Good Fair Poor Unknown Total:	45 lf lf lf lf 45 lf	 72_0901_0031.jpg

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Cast Iron Grille	1	Good Fair Poor Unknown Total:	2 each each each each 2 each	 72_0901_0007.JPG
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	2 each each each each 2 each	 72_0901_0012.JPG
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0901_0014.JPG
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	2 each each each each 2 each	 72_0901_0017.JPG

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	6 each each each each 6 each	 72_0901_0008.JPG
1B - Getz Theater, West Lobby and Foyer	Ceiling Ornament	Plaster Grille	2	Good Fair Poor Unknown Total:	8 sf sf sf sf 8 sf	 72_0901_0003.JPG
1B - Getz Theater, West Lobby and Foyer	Ceiling Ornament	Scored Plaster	2	Good Fair Poor Unknown Total:	sf 10 sf 10 sf sf 20 sf	 72_0107_0001.jpg
1B - Getz Theater, West Lobby and Foyer	Ceiling Surface	Plaster	2	Good Fair Poor Unknown Total:	5,760 sf sf sf sf 5,760 sf	 72_0901_0004.JPG

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Getz Theater, West Lobby and Foyer	Ceiling Trim	Plaster Cornice Moulding	2	Good Fair Poor Unknown Total:	350 lf lf lf lf 350 lf	 72_0901_0011.JPG
1B - Getz Theater, West Lobby and Foyer	Framed Opening	Plaster	2	Good Fair Poor Unknown Total:	lf 40 lf lf lf 40 lf	 72_0901_0010.JPG
1B - Getz Theater, West Lobby and Foyer	Interior Door	Wood, Paneled	2	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0901_0015.JPG
1B - Getz Theater, West Lobby and Foyer	Interior Door Casing/Trim	Wood	2	Good Fair Poor Unknown Total:	17 lf lf lf 17 lf 34 lf	 72_0901_0015.JPG




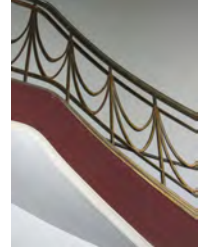
Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Getz Theater, West Lobby and Foyer	Interior Window Casing/Trim	Wood	2	Good Fair Poor Unknown Total:	10 lf lf lf lf 10 lf	 72_0901_0013.JPG
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Plaster Frame	2	Good Fair Poor Unknown Total:	sf 60 sf sf sf 60 sf	 72_0901_0001.JPG
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Plaster Panel	2	Good Fair Poor Unknown Total:	165 sf sf sf sf 165 sf	 72_0901_0002.JPG
1B - Getz Theater, West Lobby and Foyer	Wall Surface	Plaster	2	Good Fair Poor Unknown Total:	9,300 sf sf sf sf 9,300 sf	 72_0901_0005.JPG





Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Getz Theater, West Lobby and Foyer	Wall Surface	Wood	2	Good	sf	 72_0901_0008.JPG
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	sf	
1B - Getz Theater, West Lobby and Foyer	Wall Trim	Wood	2	Good	100 lf	 72_0901_0008.JPG
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	100 lf	
1B - Getz Theater, West Lobby and Foyer	Wall Trim (Base)	Plaster	2	Good	lf	 72_0901_0009.JPG
				Fair	30 lf	
				Poor	lf	
				Unknown	lf	
				Total:	30 lf	

Zone Number & Description	Element Name	Description	Rating
1B - Getz Theater, West Lobby and Foyer	Interior Door Hardware	Bronze/Brass	3
1B - Getz Theater, West Lobby and Foyer	Lighting	Wall Mounted (Step Lights)	3
1B - Getz Theater, West Lobby and Foyer	Wall Ornament	Metal Grille	3
1B - Getz Theater, West Lobby and Foyer	Balcony Railing	Steel	4
1B - Getz Theater, West Lobby and Foyer	Exterior Door Hardware	Steel	4
1B - Getz Theater, West Lobby and Foyer	Exterior Door: Interior Casing/Trim	Cast Iron	4
1B - Getz Theater, West Lobby and Foyer	Floor Decking	Concrete	4
1B - Getz Theater, West Lobby and Foyer	Stair	Concrete	4
1B - Getz Theater, West Lobby and Foyer	Balcony Railing	Brass	6
1B - Getz Theater, West Lobby and Foyer	Ceiling Finish	Paint	6
1B - Getz Theater, West Lobby and Foyer	Ceiling Intrusions	Louvers	6
1B - Getz Theater, West Lobby and Foyer	Ceiling Intrusions	Stage Lighting Equipment	6
1B - Getz Theater, West Lobby and Foyer	Ceiling Trim	Wood Cornice Moulding	6
1B - Getz Theater, West Lobby and Foyer	Fire Egress	Emergency Lighting	6
1B - Getz Theater, West Lobby and Foyer	Fire Egress	Exit Signage	6
1B - Getz Theater, West Lobby and Foyer	Fire Egress	Lighted Exit Signage	6
1B - Getz Theater, West Lobby and Foyer	Fire Suppression	Fire Extinguisher	6
1B - Getz Theater, West Lobby and Foyer	Fire Suppression	Wall Hose	6
1B - Getz Theater, West Lobby and Foyer	Floor Surface	Carpet	6
1B - Getz Theater, West Lobby and Foyer	Floor Surface	Entrance Mat	6
1B - Getz Theater, West Lobby and Foyer	Floor Surface	Wood	6
1B - Getz Theater, West Lobby and Foyer	Furnishings	Fixed Seating	6
1B - Getz Theater, West Lobby and Foyer	HVAC Equipment	Diffuser	6
1B - Getz Theater, West Lobby and Foyer	HVAC Equipment	Thermostat	6
1B - Getz Theater, West Lobby and Foyer	Interior Door	Aluminum and Glass	6
1B - Getz Theater, West Lobby and Foyer	Interior Door	Sidelight	6

Zone Number & Description	Element Name	Description	Rating
1B - Getz Theater, West Lobby and Foyer	Interior Door	Transom	6
1B - Getz Theater, West Lobby and Foyer	Interior Door	Wood, Flush	6
1B - Getz Theater, West Lobby and Foyer	Interior Door Casing/Trim	Steel	6
1B - Getz Theater, West Lobby and Foyer	Interior Door Casing/Trim	Wood	6
1B - Getz Theater, West Lobby and Foyer	Interior Door Frame	Steel	6
1B - Getz Theater, West Lobby and Foyer	Interior Door Hardware	Aluminum	6
1B - Getz Theater, West Lobby and Foyer	Interior Door Hardware	Bronze/Brass	6
1B - Getz Theater, West Lobby and Foyer	Interior Door Hardware	Steel	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Casing/Trim	Wood	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Casing/Trim	Wood Counter	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Finish	Paint	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Finish	Varnish	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Frame	Wood	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Glazing	Insulated Glass	6
1B - Getz Theater, West Lobby and Foyer	Interior Window Sash	Fixed	6
1B - Getz Theater, West Lobby and Foyer	Lighting	Ceiling Mounted Fixture	6
1B - Getz Theater, West Lobby and Foyer	Lighting	Recessed Fixture	6
1B - Getz Theater, West Lobby and Foyer	Lighting	Wall Mounted Fixture	6
1B - Getz Theater, West Lobby and Foyer	Stair	Wood	6
1B - Getz Theater, West Lobby and Foyer	Stair Surface	Carpet	6
1B - Getz Theater, West Lobby and Foyer	Wall Finish	Paint	6
1B - Getz Theater, West Lobby and Foyer	Wall Finish	Wallpaper	6
1B - Getz Theater, West Lobby and Foyer	Wall Intrusions	Bulletin Board	6
1B - Getz Theater, West Lobby and Foyer	Wall Intrusions	Drinking Fountain	6
1B - Getz Theater, West Lobby and Foyer	Wall Intrusions	Grille	6
1B - Getz Theater, West Lobby and Foyer	Wall Intrusions	Signage	6

Zone Number & Description	Element Name	Description	Rating
1B - Getz Theater, West Lobby and Foyer	Wall Intrusions	Stage Lighting Equipment	6
1B - Getz Theater, West Lobby and Foyer	Wall Surface	Gypsum Board	6
1B - Getz Theater, West Lobby and Foyer	Wall Trim	Wood	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1C - Main Lobby and Main Stairway	Floor Surface	Terrazzo	1	Good Fair Poor Unknown Total:	sf 1,000 sf sf 40 sf 1,040 sf	 72_0901_0022.JPG
1C - Main Lobby and Main Stairway	Stair Railing	Cast and Wroght Iron	1	Good Fair Poor Unknown Total:	70 lf lf lf lf 70 lf	 72_0901_0021.JPG
1C - Main Lobby and Main Stairway	Stair Railing	Nickle Silver	1	Good Fair Poor Unknown Total:	200 lf lf lf lf 200 lf	 72_0901_0021.JPG
1C - Main Lobby and Main Stairway	Stair Trim	Cast Iron	1	Good Fair Poor Unknown Total:	140 lf lf lf lf 140 lf	 72_0901_0018.jpg

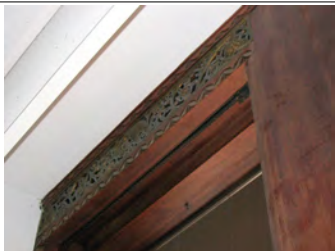


Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1C - Main Lobby and Main Stairway	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0901_0027.JPG
1C - Main Lobby and Main Stairway	Ceiling Surface	Plaster	2	Good Fair Poor Unknown Total:	1,400 sf sf sf 55 sf 1,455 sf	 72_0901_0025.JPG
1C - Main Lobby and Main Stairway	Ceiling Trim	Wood Cornice Moulding	2	Good Fair Poor Unknown Total:	120 lf lf lf lf 120 lf	 72_0901_0026.JPG
1C - Main Lobby and Main Stairway	Exterior Window: Interior Stool	Marble	2	Good Fair Poor Unknown Total:	each 3 each each each 3 each	 72_0901_0019.JPG

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1C - Main Lobby and Main Stairway	Interior Door Casing/Trim	Wood	2	Good	55 lf	 72_0211_0018.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	55 lf	
1C - Main Lobby and Main Stairway	Stair	Terrazzo	2	Good	sf	 72_0901_0023.JPG
				Fair	370 sf	
				Poor	sf	
				Unknown	sf	
				Total:	370 sf	
1C - Main Lobby and Main Stairway	Wall Surface	Plaster	2	Good	3,275 sf	 72_0901_0020.JPG
				Fair	sf	
				Poor	sf	
				Unknown	400 sf	
				Total:	3,675 sf	
1C - Main Lobby and Main Stairway	Wall Trim (Base)	Terrazzo	2	Good	lf	 72_0901_0024.JPG
				Fair	290 lf	
				Poor	lf	
				Unknown	65 lf	
				Total:	355 lf	


Zone Number & Description	Element Name	Description	Rating
1C - Main Lobby and Main Stairway	Exterior Window: Interior Casing/Trim	Steel	3
1C - Main Lobby and Main Stairway	HVAC Equipment	Radiator	4
1C - Main Lobby and Main Stairway	Ceiling Finish	Paint	6
1C - Main Lobby and Main Stairway	Exterior Window Hardware	Aluminum	6
1C - Main Lobby and Main Stairway	Fire Detection	Alarm/Pull	6
1C - Main Lobby and Main Stairway	Fire Egress	Emergency Lighting	6
1C - Main Lobby and Main Stairway	Fire Egress	Lighted Exit Signage	6
1C - Main Lobby and Main Stairway	Fire Suppression	Fire Extinguisher	6
1C - Main Lobby and Main Stairway	Floor Surface	Entrance Mat	6
1C - Main Lobby and Main Stairway	Floor Surface	Synthetic Sheet	6
1C - Main Lobby and Main Stairway	Interior Door	Aluminum and Glass	6
1C - Main Lobby and Main Stairway	Interior Door	Sidelight	6
1C - Main Lobby and Main Stairway	Interior Door	Steel, Flush	6
1C - Main Lobby and Main Stairway	Interior Door Frame	Steel	6
1C - Main Lobby and Main Stairway	Interior Door Hardware	Aluminum	6
1C - Main Lobby and Main Stairway	Interior Door Hardware	Steel	6
1C - Main Lobby and Main Stairway	Lighting	Ceiling Mounted Fixture	6
1C - Main Lobby and Main Stairway	Lighting	Recessed Fixture	6
1C - Main Lobby and Main Stairway	Lighting	Wall Mounted Fixture	6
1C - Main Lobby and Main Stairway	Wall Finish	Paint	6
1C - Main Lobby and Main Stairway	Wall Finish	Wallpaper	6
1C - Main Lobby and Main Stairway	Wall Intrusions	Bulletin/Peg Board	6
1C - Main Lobby and Main Stairway	Wall Intrusions	Circuit Breaker Panel	6
1C - Main Lobby and Main Stairway	Wall Intrusions	Conduit	6
1C - Main Lobby and Main Stairway	Wall Intrusions	Display Case	6
1C - Main Lobby and Main Stairway	Wall Intrusions	Phone	6

Zone Number & Description	Element Name	Description	Rating
1C - Main Lobby and Main Stairway	Wall Intrusions	Signage	6
1C - Main Lobby and Main Stairway	Wall Surface	Gypsum Board	6
1C - Main Lobby and Main Stairway	Wall Surface	Solid Composite Surface	6
1C - Main Lobby and Main Stairway	Wall Trim	Wood	6
1C - Main Lobby and Main Stairway	Wall Trim (Base)	Rubber/Plastic	6
1C - Main Lobby and Main Stairway	Wall Trim (Base)	Synthetic Sheet	6
1C - Main Lobby and Main Stairway	Wall Trim (Base)	Wood	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Exterior Window: Interior Casing/Trim	Marble Stool	1	Good Fair Poor Unknown Total:	each 10 each each each 10 each	 72_0826_0013.jpg
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Furnishings	Fireplace and Hearth (Marble and Brick)	1	Good Fair Poor Unknown Total:	2 each each each each 2 each	 72_0826_0023.jpg
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Ornament	Cast Iron Grille	1	Good Fair Poor Unknown Total:	10 each each each each 10 each	 72_0826_0021.jpg
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Ornament	Cast Iron Grille	1	Good Fair Poor Unknown Total:	34 each each each 2 each 36 each	 72_0623_0001.jpg

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Ornament	Cast Iron Grille	1	Good Fair Poor Unknown Total:	6 each each each each 6 each	 72_0211_0024.jpg
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Ornament	Cast Iron Grilles and Frame	1	Good Fair Poor Unknown Total:	2 each each each each 2 each	 72_0211_0021.jpg
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Trim (Base)	Marble	1	Good Fair Poor Unknown Total:	If 400 If If If 400 If	 72_0826_0014.jpg
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Ceiling Surface	Plaster	2	Good Fair Poor Unknown Total:	3,930 sf sf sf 1,830 sf 5,760 sf	 72_0211_0030.jpg

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Ceiling Trim	Plaster Cornice Moulding	2	Good	lf	
				Fair	515 lf	
				Poor	lf	
				Unknown	lf	
				Total:	515 lf	
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Exterior Door: Interior Casing/Trim	Cast Iron	2	Good	74 lf	
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	74 lf	
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Surface	Plaster	2	Good	sf	
				Fair	2,350 sf	
				Poor	sf	
				Unknown	210 sf	
				Total:	2,560 sf	
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Surface	Wood Board Paneling	2	Good	sf	
				Fair	3,750 sf	
				Poor	sf	
				Unknown	75 sf	
				Total:	3,825 sf	

Zone Number & Description	Element		Rating	Condition	Quantity	Photograph
	Name	Description				
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Trim	Composition Ornament	2	Good	345 lf	
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	345 lf	


72_0826_0020.jpg

Zone Number & Description	Element Name	Description	Rating
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Exterior Window: Interior Casing/Trim	Wood Stool	3
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Floor Surface	Terrazzo Threshold	3
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Furnishings	Curtain Rods	3
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	HVAC Equipment	Radiator Cover	3
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Finish	Varnish	3
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Ceiling Finish	Paint	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Ceiling Intrusions	Sound Insulating Panels	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Ceiling Surface	Accoustical Tiles (Affixed)	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Exterior Window Hardware	Aluminum	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Fire Detection	Alarm/Pull	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Fire Egress	Emergency Lighting	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Fire Egress	Lighted Exit Signage	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Floor Surface	Carpet	6

Zone Number & Description	Element Name	Description	Rating
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Floor Surface	Synthetic Sheet	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Floor Surface	Synthetic Tile	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Floor Surface	Wood	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	HVAC Control	Thermostat	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Interior Door	Wood, Flush	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Interior Door Frame	Steel	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Interior Door Hardware	Aluminum	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Lighting	Ceiling Mounted Fixture	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Lighting	Suspended Fixture	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Finish	Paint	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Bulletin/Peg Board	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Chalkboard	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Conduit	6

Zone Number & Description	Element Name	Description	Rating
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Dance Pole Mount	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Grille	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Mirror	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Intrusions	Phone	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Surface	Gypsum Board	6
2A - Theater Classrooms (207 and 211) and Acting Studios (301, 303 and 305)	Wall Trim (Base)	Wood	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door	Steel, Sidelight	2	Good Fair Poor Unknown Total:	each 4 each each each 4 each	 72_0211_0002.jpg
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door	Steel, Transom	2	Good Fair Poor Unknown Total:	each 3 each each each 3 each	 72_0211_0002.jpg
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door Casing/Trim	Steel	2	Good Fair Poor Unknown Total:	145 lf lf lf lf 145 lf	 72_0211_0002.jpg
3A - Secondary Exterior Elevations (West, North and East)	Exterior Opening Lintel	Glazed Terra Cotta	2	Good Fair Poor Unknown Total:	500 lf lf lf lf 500 lf	 72_0201_0003.jpg


Zone Number & Description	Element		Rating	Condition	Quantity	Photograph
	Name	Description				
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Sill	Limestone	2	Good	500 lf	
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	500 lf	

72_0201_0003.jpg

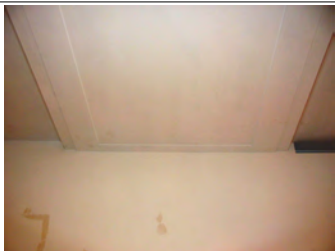
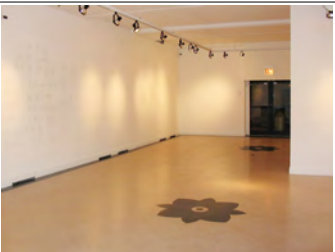

Zone Number & Description	Element Name	Description	Rating
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door	Steel, Paneled	3
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door Frame	Steel	3
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door Hardware	Bronze	3
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Casing/Trim	Steel	3
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Frame	Steel	3
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Sash	Steel, Double Hung	3
3A - Secondary Exterior Elevations (West, North and East)	Wall Surface	Brick	3
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Glazing	Wire Glass	4
3A - Secondary Exterior Elevations (West, North and East)	Stair	Steel	4
3A - Secondary Exterior Elevations (West, North and East)	Wall Base	Concrete Curb	4
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door	Steel, Flush	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door Frame	Steel	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Door Hardware	Aluminum	6





Zone Number & Description	Element Name	Description	Rating
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Casing/Trim	Metal	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Finish	Factory Finish	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Finish	Paint	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Frame	Metal	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Glazing	Insulated Wire Glass	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Infill	Metal Louvers/Mesh	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Infill	Wood	6
3A - Secondary Exterior Elevations (West, North and East)	Exterior Window Sash	Metal, Double Hung	6
3A - Secondary Exterior Elevations (West, North and East)	Lighting	Wall Mounted Fixture	6
3A - Secondary Exterior Elevations (West, North and East)	Wall Finish	Paint	6
3A - Secondary Exterior Elevations (West, North and East)	Wall Intrusions	Common Hose	6
3A - Secondary Exterior Elevations (West, North and East)	Wall Intrusions	Conduit	6
3A - Secondary Exterior Elevations (West, North and East)	Wall Intrusions	Firehose Hookup	6


Zone Number & Description	Element Name	Description	Rating
3A - Secondary Exterior Elevations (West, North and East)	Wall Intrusions	Signage	6
3A - Secondary Exterior Elevations (West, North and East)	Wall Intrusions	Vent	6
3A - Secondary Exterior Elevations (West, North and East)	Wall Surface	Corrugated Metal	6

Element						
Zone Number & Description	Name	Description	Rating	Condition	Quantity	Photograph
3B - Roof	Flag Pole	Cast and Wrought Iron	2	Good	1 each	
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	
						72_0909_0003.jpg

Zone Number & Description	Element Name	Description	Rating
3B - Roof	Roof Openings	Brick Chimney with Stone Coping	3
3B - Roof	Wall Surface	Brick	3
3B - Roof	Wall Surface	Limestone Coping	3
3B - Roof	Drainage	Downspouts	4
3B - Roof	Roof Openings	Metal Chimney	4
3B - Roof	Wall Intrusions	Ladder	4
3B - Roof	Drainage	Downspouts	6
3B - Roof	Exterior Door	Steel, Flush	6
3B - Roof	Exterior Door Hardware	Aluminum	6
3B - Roof	Roof Flashing/Trim	Plastic Flashing	6
3B - Roof	Roof Surface	Built-up Bituminous	6
3B - Roof	Wall Intrusions	Vent	6
3B - Roof	Wall Surface	Corrugated Metal	6
3B - Roof	Wall Surface	Face Brick	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3C - Classic Studio (101) and Art & Design Gallery (103)	Ceiling Surface	Plaster	2	Good	2,900 sf	 72_0826_0001.jpg
				Fair	sf	
				Poor	sf	
				Unknown	130 sf	
				Total:	3,030 sf	
3C - Classic Studio (101) and Art & Design Gallery (103)	Ceiling Trim	Plaster Cornice Moulding	2	Good	lf	 OBSCURED - NO PHOTO AVAILABLE
				Fair	lf	
				Poor	lf	
				Unknown	180 lf	
				Total:	180 lf	
3C - Classic Studio (101) and Art & Design Gallery (103)	Floor Surface	Terrazzo	2	Good	1,510 sf	 72_0826_0002.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	1,510 sf	
3C - Classic Studio (101) and Art & Design Gallery (103)	Floor Surface	Wood	2	Good	1,390 sf	 72_0826_0008.jpg
				Fair	sf	
				Poor	sf	
				Unknown	130 sf	
				Total:	1,520 sf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door	Wood, Paneled	2	Good	5 each	 72_0826_0003.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	5 each	
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Casing/Trim	Wood	2	Good	140 lf	 72_0826_0003.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	140 lf	
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Ornament	Wood Grille and Trim	2	Good	each	 72_0826_0009.jpg
				Fair	7 each	
				Poor	each	
				Unknown	each	
				Total:	7 each	
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Surface	Plaster	2	Good	sf	 72_0826_0007.jpg
				Fair	1,130 sf	
				Poor	sf	
				Unknown	1,750 sf	
				Total:	2,880 sf	

Zone Number & Description	Element		Rating	Condition	Quantity	Photograph
	Name	Description				
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Trim (Base)	Wood	2	Good	120 lf	
				Fair	lf	
				Poor	lf	
				Unknown	25 lf	
				Total:	145 lf	

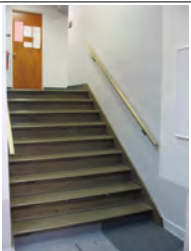



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Zone Number & Description	Element Name	Description	Rating
3C - Classic Studio (101) and Art & Design Gallery (103)	Furnishings	Coat Check Counter	3
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Frame	Wood	3
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Hardware	Bronze/Brass	3
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Hardware	Glass and Bronze	3
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Window Casing/Trim	Wood	3
3C - Classic Studio (101) and Art & Design Gallery (103)	Floor Surface	Concrete	4
3C - Classic Studio (101) and Art & Design Gallery (103)	Furnishings	Box Office Counter	4
3C - Classic Studio (101) and Art & Design Gallery (103)	Furnishings	Built-in Cabinet	4
3C - Classic Studio (101) and Art & Design Gallery (103)	Furnishings	Pigeonholes	4
3C - Classic Studio (101) and Art & Design Gallery (103)	HVAC Equipment	Register/Grille	4
3C - Classic Studio (101) and Art & Design Gallery (103)	Ceiling Finish	Paint	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Ceiling Intrusions	Conduit	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Ceiling Intrusions	Duct Work	6

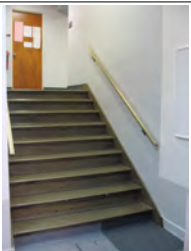
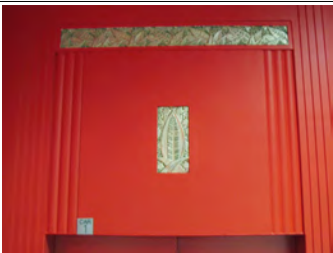


Zone Number & Description	Element Name	Description	Rating
3C - Classic Studio (101) and Art & Design Gallery (103)	Ceiling Intrusions	Suspended Ceiling	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Communication System	Telecommunication Equipment	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Electrical	Wiring Network	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Fire Egress	Emergency Lighting	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Fire Egress	Lighted Exit Signage	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Fire Suppression	Fire Extinguisher	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Floor Surface	Carpet	6
3C - Classic Studio (101) and Art & Design Gallery (103)	HVAC Equipment	Register/Grille	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door	Steel, Flush	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door	Wood, Flush	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Frame	Aluminum	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Hardware	Aluminum	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Door Hardware	Bronze/Brass	6

Zone Number & Description	Element Name	Description	Rating
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Window Casing/Trim	Steel	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Window Finish	Paint	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Window Glazing	Clear, Single Glazed	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Window Sash	Fixed	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Interior Window Sash	Sliding	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Lighting	Ceiling Mounted Fixture	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Lighting	Recessed Fixture	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Lighting	Suspended Track Fixture	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Smoke Detection	Device/Equipment	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Space Intrusions	Full Wall	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Finish	Paint	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Intrusions	Conduit	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Intrusions	Duct Work	6



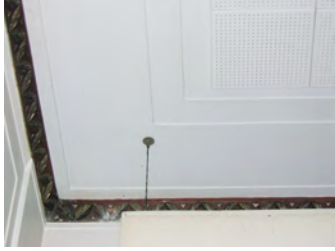

Zone Number & Description	Element Name	Description	Rating
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Intrusions	Phone	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Intrusions	Security/Alarms	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Surface	Gypsum Board	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Trim (Base)	Rubber/Plastic	6
3C - Classic Studio (101) and Art & Design Gallery (103)	Wall Trim (Base)	Wood	6




Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3D - Second and Third Floor Elevator Lobbies	Stair Railing	Nickel Silver	1	Good Fair Poor Unknown Total:	15 lf lf lf lf 15 lf	 72_0903_0013.JPG
3D - Second and Third Floor Elevator Lobbies	Wall Ornament	Marble Drinking Fountain	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0903_0012.JPG
3D - Second and Third Floor Elevator Lobbies	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0903_0001.jpg
3D - Second and Third Floor Elevator Lobbies	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	6 each each each each 6 each	 72_0903_0010.JPG

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3D - Second and Third Floor Elevator Lobbies	Ceiling Surface	Plaster	2	Good Fair Poor Unknown Total:	300 sf sf sf 1,960 sf 2,260 sf	 72_0903_0005.jpg
3D - Second and Third Floor Elevator Lobbies	Ceiling Trim	Plaster Cornice Moulding	2	Good Fair Poor Unknown Total:	240 lf lf lf 20 lf 260 lf	 72_0903_0011.JPG
3D - Second and Third Floor Elevator Lobbies	Floor Surface	Terrazzo (now covered with carpet)	2	Good Fair Poor Unknown Total:	sf sf sf 130 sf 130 sf	 72_0901_0028.JPG
3D - Second and Third Floor Elevator Lobbies	Framed Opening	Wood	2	Good Fair Poor Unknown Total:	100 lf lf lf lf 100 lf	 72_0903_0009.JPG



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3D - Second and Third Floor Elevator Lobbies	Stair	Terrazzo	2	Good	40 sf	 72_0903_0013.JPG
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	40 sf	
3D - Second and Third Floor Elevator Lobbies	Wall Ornament	Plaster	2	Good	15 sf	 72_0903_0002.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	15 sf	
3D - Second and Third Floor Elevator Lobbies	Wall Surface	Plaster	2	Good	2,200 sf	 72_0903_0004.JPG
				Fair	sf	
				Poor	sf	
				Unknown	150 sf	
				Total:	2,350 sf	
3D - Second and Third Floor Elevator Lobbies	Wall Trim (Base)	Wood	2	Good	130 lf	 72_0903_0003.JPG
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	130 lf	

Zone Number & Description	Element Name	Description	Rating
3D - Second and Third Floor Elevator Lobbies	Interior Door	Wood, Paneled	3
3D - Second and Third Floor Elevator Lobbies	Interior Door Casing/Trim	Wood	3
3D - Second and Third Floor Elevator Lobbies	Interior Door Hardware	Bronze/Brass	3
3D - Second and Third Floor Elevator Lobbies	Wall Trim (Base)	Plaster	3
3D - Second and Third Floor Elevator Lobbies	Ceiling Finish	Paint	6
3D - Second and Third Floor Elevator Lobbies	Ceiling Surface	Accoustical Tiles (Suspended)	6
3D - Second and Third Floor Elevator Lobbies	Fire Detection	Alarm/Pull	6
3D - Second and Third Floor Elevator Lobbies	Fire Egress	Emergency Lighting	6
3D - Second and Third Floor Elevator Lobbies	Fire Egress	Exit Signage	6
3D - Second and Third Floor Elevator Lobbies	Floor Surface	Carpet	6
3D - Second and Third Floor Elevator Lobbies	Interior Door	Steel, Flush	6
3D - Second and Third Floor Elevator Lobbies	Interior Door	Wood, Flush	6
3D - Second and Third Floor Elevator Lobbies	Interior Door Hardware	Aluminum	6
3D - Second and Third Floor Elevator Lobbies	Lighting	Ceiling Mounted Fixture	6
3D - Second and Third Floor Elevator Lobbies	Lighting	Recessed Fixture	6
3D - Second and Third Floor Elevator Lobbies	Space Intrusions	Full Wall	6
3D - Second and Third Floor Elevator Lobbies	Wall Finish	Paint	6
3D - Second and Third Floor Elevator Lobbies	Wall Intrusions	Bulletin/Peg Board	6
3D - Second and Third Floor Elevator Lobbies	Wall Intrusions	Conduit	6
3D - Second and Third Floor Elevator Lobbies	Wall Intrusions	Drinking Fountain	6
3D - Second and Third Floor Elevator Lobbies	Wall Intrusions	Signage	6
3D - Second and Third Floor Elevator Lobbies	Wall Surface	Gypsum Board	6
3D - Second and Third Floor Elevator Lobbies	Wall Trim (Base)	Rubber/Plastic	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3E - Classrooms 307 and 309	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0903_0016.jpg
3E - Classrooms 307 and 309	Wall Ornament	Metal Grille	1	Good Fair Poor Unknown Total:	1 each each each each 1 each	 72_0903_0022.JPG
3E - Classrooms 307 and 309	Ceiling Surface	Plaster	2	Good Fair Poor Unknown Total:	225 sf sf sf 775 sf 1,000 sf	 72_0903_0018.jpg
3E - Classrooms 307 and 309	Ceiling Trim	Plaster Cornice Moulding	2	Good Fair Poor Unknown Total:	lf 85 lf lf lf 85 lf	 72_0903_0017.JPG


Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3E - Classrooms 307 and 309	Furnishings	Built-in Bookcase	2	Good Fair Poor Unknown Total:	2 each each each each 2 each	 72_0903_0015.JPG
3E - Classrooms 307 and 309	Wall Surface	Plaster	2	Good Fair Poor Unknown Total:	1,690 sf sf sf sf 1,690 sf	 72_0903_0021.JPG
3E - Classrooms 307 and 309	Wall Trim (Base)	Marble	2	Good Fair Poor Unknown Total:	70 lf lf lf lf 70 lf	 72_0903_0014.jpg
3E - Classrooms 307 and 309	Wall Trim (Base)	Wood	2	Good Fair Poor Unknown Total:	lf 80 lf lf lf 80 lf	 72_0903_0020.JPG

Zone Number & Description	Element Name	Description	Rating
3E - Classrooms 307 and 309	Exterior Window: Interior Casing/Trim	Cast Iron	3
3E - Classrooms 307 and 309	Exterior Window: Interior Stool	Marble	3
3E - Classrooms 307 and 309	Exterior Window: Interior Stool	Wood	3
3E - Classrooms 307 and 309	HVAC Equipment	Radiator	4
3E - Classrooms 307 and 309	Ceiling Finish	Paint	6
3E - Classrooms 307 and 309	Ceiling Intrusions	Sound Insulating Panels	6
3E - Classrooms 307 and 309	Ceiling Intrusions	Vent	6
3E - Classrooms 307 and 309	Ceiling Surface	Accoustical Tiles (Affixed)	6
3E - Classrooms 307 and 309	Exterior Window Hardware	Aluminum	6
3E - Classrooms 307 and 309	Floor Surface	Carpet	6
3E - Classrooms 307 and 309	HVAC Equipment	Thermostat	6
3E - Classrooms 307 and 309	Interior Door	Wood, Flush	6
3E - Classrooms 307 and 309	Interior Door Frame	Steel	6
3E - Classrooms 307 and 309	Interior Door Hardware	Aluminum	6
3E - Classrooms 307 and 309	Interior Door Hardware	Steel	6
3E - Classrooms 307 and 309	Lighting	Suspended Fixture	6
3E - Classrooms 307 and 309	Wall Finish	Paint	6
3E - Classrooms 307 and 309	Wall Intrusions	Chalkboard	6
3E - Classrooms 307 and 309	Wall Intrusions	Conduit	6
3E - Classrooms 307 and 309	Wall Intrusions	Light Switches	6
3E - Classrooms 307 and 309	Wall Intrusions	Metal Boxes	6
3E - Classrooms 307 and 309	Wall Intrusions	Signage	6
3E - Classrooms 307 and 309	Wall Intrusions	Vent	6
3E - Classrooms 307 and 309	Wall Surface	Gypsum Board	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3F - North and East Stairways and Freight Elevator	Elevators	Bronze Casing	2	Good	110 lf	 72_0903_0036.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	110 lf	
3F - North and East Stairways and Freight Elevator	Elevators	Floor Indicator	2	Good	1 each	 72_0903_0034.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	

Zone Number & Description	Element Name	Description	Rating
3F - North and East Stairways and Freight Elevator	Ceiling Surface	Plaster	3
3F - North and East Stairways and Freight Elevator	Elevators	Bronze Panel	3
3F - North and East Stairways and Freight Elevator	Floor Surface	Terrazzo Threshold	3
3F - North and East Stairways and Freight Elevator	Interior Door	Wood, Paneled	3
3F - North and East Stairways and Freight Elevator	Interior Door Hardware	Steel	3
3F - North and East Stairways and Freight Elevator	Stair Railing	Steel and Cast Iron	3
3F - North and East Stairways and Freight Elevator	Stair Railing	Wood	3
3F - North and East Stairways and Freight Elevator	Wall Surface	Brick	3
3F - North and East Stairways and Freight Elevator	Wall Surface	Clay Tile	3
3F - North and East Stairways and Freight Elevator	Wall Surface	Plaster	3
3F - North and East Stairways and Freight Elevator	Elevators	Freight	4
3F - North and East Stairways and Freight Elevator	Floor Structure	Concrete	4
3F - North and East Stairways and Freight Elevator	Floor Surface	Concrete	4
3F - North and East Stairways and Freight Elevator	Interior Door	Steel Hatch	4
3F - North and East Stairways and Freight Elevator	Interior Door	Steel, Flush	4
3F - North and East Stairways and Freight Elevator	Interior Door Casing/Trim	Steel	4
3F - North and East Stairways and Freight Elevator	Interior Door Hardware	Steel	4
3F - North and East Stairways and Freight Elevator	Interior Window Casing/Trim	Steel	4
3F - North and East Stairways and Freight Elevator	Interior Window Stool	Steel	4
3F - North and East Stairways and Freight Elevator	Interior Window Stool	Wood	4
3F - North and East Stairways and Freight Elevator	Stair	Concrete	4
3F - North and East Stairways and Freight Elevator	Wall Intrusions	Ladder	4
3F - North and East Stairways and Freight Elevator	Wall Trim (Base)	Plaster	4
3F - North and East Stairways and Freight Elevator	Ceiling Intrusions	Conduit	6
3F - North and East Stairways and Freight Elevator	Fire Detection	Alarm/Pull	6
3F - North and East Stairways and Freight Elevator	Fire Egress	Emergency Lighting	6

Zone Number & Description	Element Name	Description	Rating
3F - North and East Stairways and Freight Elevator	Fire Suppression	Fire Extinguisher	6
3F - North and East Stairways and Freight Elevator	Fire Suppression	Pipes	6
3F - North and East Stairways and Freight Elevator	Fire Suppression	Wall Hose	6
3F - North and East Stairways and Freight Elevator	Floor Finish	Paint	6
3F - North and East Stairways and Freight Elevator	HVAC Equipment	Radiator	6
3F - North and East Stairways and Freight Elevator	Interior Door	Steel and Glass	6
3F - North and East Stairways and Freight Elevator	Interior Door	Steel, Flush	6
3F - North and East Stairways and Freight Elevator	Interior Door Frame	Steel	6
3F - North and East Stairways and Freight Elevator	Interior Door Hardware	Aluminum	6
3F - North and East Stairways and Freight Elevator	Interior Door Hardware	Steel	6
3F - North and East Stairways and Freight Elevator	Lighting	Ceiling Mounted Fixture	6
3F - North and East Stairways and Freight Elevator	Wall Finish	Paint	6
3F - North and East Stairways and Freight Elevator	Wall Intrusions	Conduit	6
3F - North and East Stairways and Freight Elevator	Wall Intrusions	Duct Work	6
3F - North and East Stairways and Freight Elevator	Wall Intrusions	Signage	6

Zone Number & Description	Element		Rating	Condition	Quantity	Photograph
	Name	Description				
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Ornament	Metal Grille	2	Good	2 each	
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	

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Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Trim	Wood Cornice Moulding	3
4A - Non-historic / Significantly Altered Spaces and Addition	Exterior Door: Interior Casing/Trim	Cast Iron	3
4A - Non-historic / Significantly Altered Spaces and Addition	Exterior Window: Interior Stool	Marble	3
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Terrazzo	3
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Terrazzo Threshold	3
4A - Non-historic / Significantly Altered Spaces and Addition	Framed Opening	Plaster	3
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Hardware	Bronze/Brass	3
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Hardware	Glass Door Knob	3
4A - Non-historic / Significantly Altered Spaces and Addition	Lighting	Ceiling Mounted Fixture	3
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Wood	3
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Surface	Concrete	4
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Surface	Plaster	4
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Structure	Concrete	4

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Concrete	4
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Quarry Tile	4
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Built-in Cabinet	4
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Ticket Window	4
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Toilet Room Fixtures	4
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Work Bench	4
4A - Non-historic / Significantly Altered Spaces and Addition	HVAC Equipment	Radiator	4
4A - Non-historic / Significantly Altered Spaces and Addition	HVAC Equipment	Radiator Cover	4
4A - Non-historic / Significantly Altered Spaces and Addition	HVAC Equipment	Register/Grille	4
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door	Steel Hatch	4
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door	Wood, Paneled	4
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Frame	Steel	4
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Frame	Wood	4

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Hardware	Steel	4
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Window Glazing	Wire Glass	4
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Window Sash	Hopper	4
4A - Non-historic / Significantly Altered Spaces and Addition	Stair	Steel	4
4A - Non-historic / Significantly Altered Spaces and Addition	Stair Railing	Steel	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Lockers	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Mirror	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Surface	Brick	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Surface	Clay Tile	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Surface	Concrete Masonry Unit	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Surface	Plaster	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Ceramic Tile	4
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Plaster	4

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Terrazzo	4
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Finish	Paint	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Intrusions	Conduit	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Intrusions	Duct Work	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Surface	Accoustical Tiles (Suspended)	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Surface	Corrugated Metal	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ceiling Surface	Gypsum Board	6
4A - Non-historic / Significantly Altered Spaces and Addition	Elevators	Passenger	6
4A - Non-historic / Significantly Altered Spaces and Addition	Fire Detection	Alarm/Pull	6
4A - Non-historic / Significantly Altered Spaces and Addition	Fire Egress	Emergency Lighting	6
4A - Non-historic / Significantly Altered Spaces and Addition	Fire Egress	Exit Signage	6
4A - Non-historic / Significantly Altered Spaces and Addition	Fire Suppression	Fire Extinguisher	6
4A - Non-historic / Significantly Altered Spaces and Addition	Fire Suppression	Wall Hose	6

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Decking	Plywood	6
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Carpet	6
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Ceramic Tile	6
4A - Non-historic / Significantly Altered Spaces and Addition	Floor Surface	Synthetic Sheet	6
4A - Non-historic / Significantly Altered Spaces and Addition	Framed Opening	Wood	6
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Counter	6
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Interior Shutters	6
4A - Non-historic / Significantly Altered Spaces and Addition	Furnishings	Toilet Room Fixtures	6
4A - Non-historic / Significantly Altered Spaces and Addition	HVAC Equipment	Thermostat	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door	Sidelight	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door	Steel, Flush	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door	Wood, Flush	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Frame	Steel	6

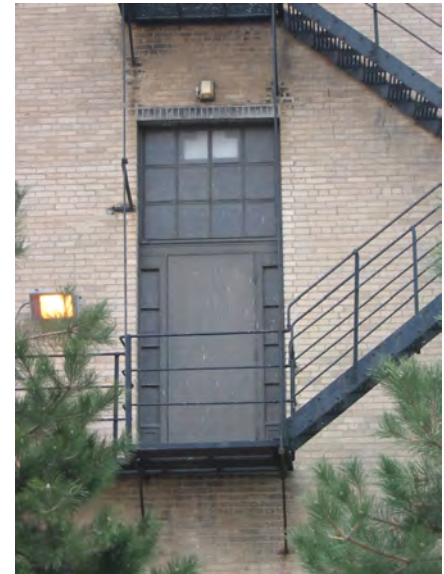
Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Frame	Wood	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Door Hardware	Aluminum	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Window Glazing	Clear, Single Glazed	6
4A - Non-historic / Significantly Altered Spaces and Addition	Interior Window Sash	Sliding	6
4A - Non-historic / Significantly Altered Spaces and Addition	Lighting	Ceiling Mounted Fixture	6
4A - Non-historic / Significantly Altered Spaces and Addition	Lighting	Recessed Fixture	6
4A - Non-historic / Significantly Altered Spaces and Addition	Lighting	Wall Mounted Fixture	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ramp Railing	Steel	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ramp Structure	Concrete	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ramp Surface	Carpet	6
4A - Non-historic / Significantly Altered Spaces and Addition	Ramp Surface	Synthetic Tile	6
4A - Non-historic / Significantly Altered Spaces and Addition	Space Intrusions	Catwalk	6
4A - Non-historic / Significantly Altered Spaces and Addition	Stair Railing	Cast and Wrought Iron	6

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Stair Railing	Nickle Silver	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Finish	Paint	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Finish	Wallpaper	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Backdrop	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Bulletin/Peg Board	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Chalkboard	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Conduit	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Drinking Fountain	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Duct Work	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Mirror	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Pipes	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Projector Screen	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Intrusions	Signage	6

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Structure	Cast Concrete	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Structure	Steel Bracing	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Surface	Ceramic Tile	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Surface	Gypsum Board	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim	Wood	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Ceramic Tile	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Rubber/Plastic	6
4A - Non-historic / Significantly Altered Spaces and Addition	Wall Trim (Base)	Wood	6



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72_0201_0003.jpg



72_0211_0009.jpg



72_0211_0018.jpg



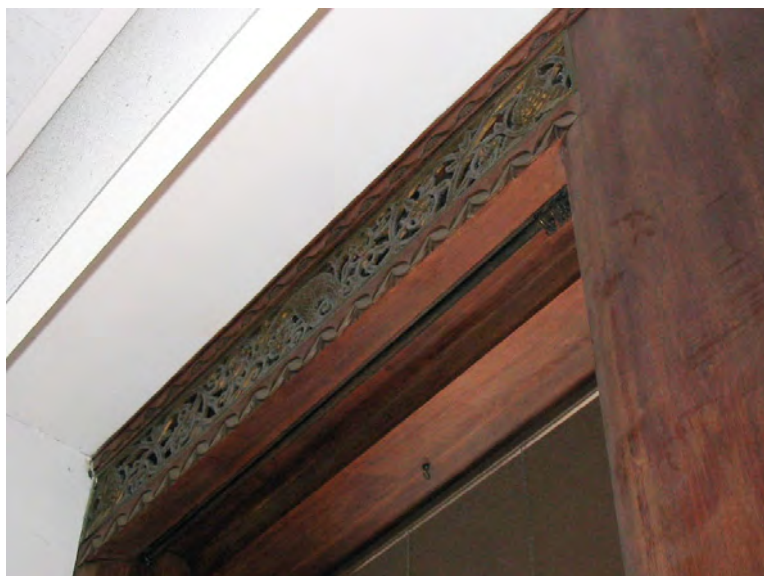
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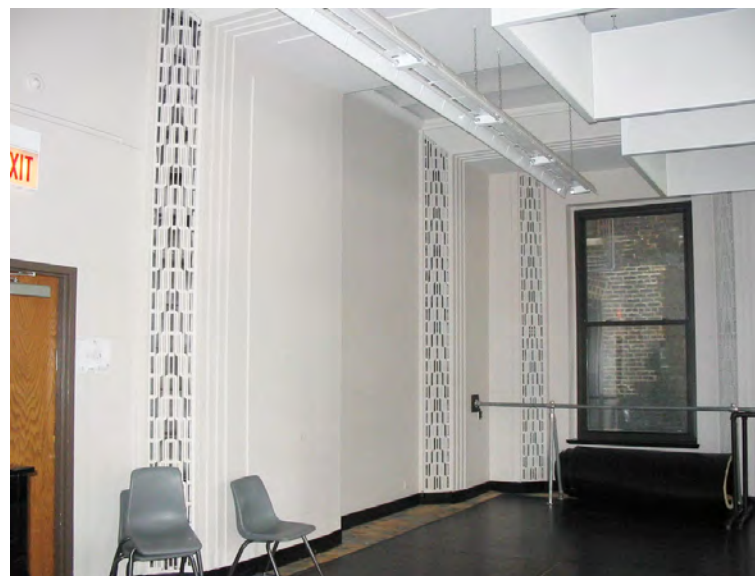
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72_0826_0001.jpg



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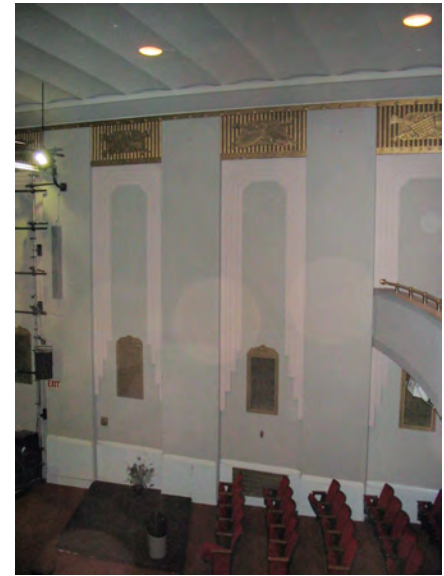
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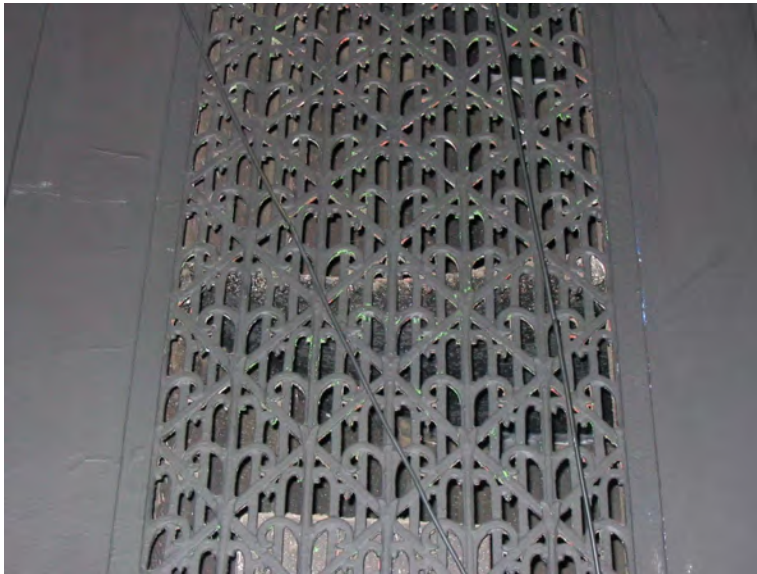
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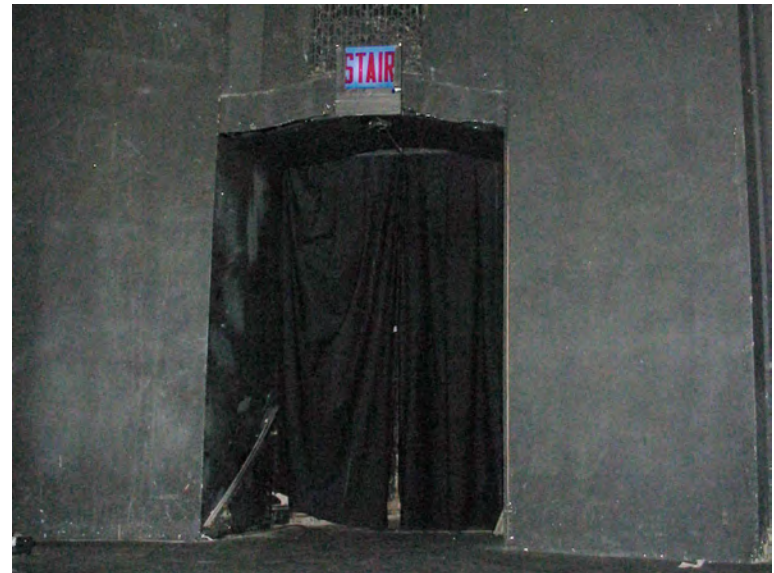
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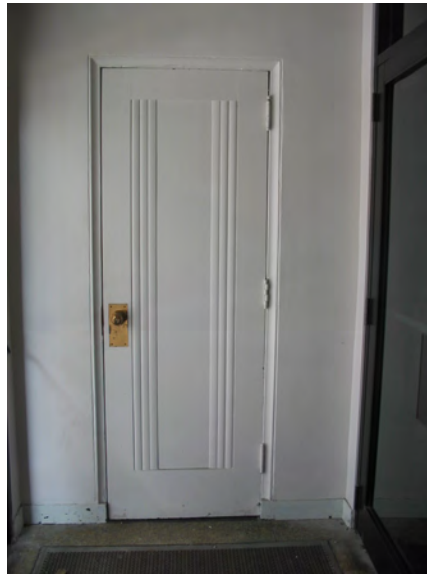
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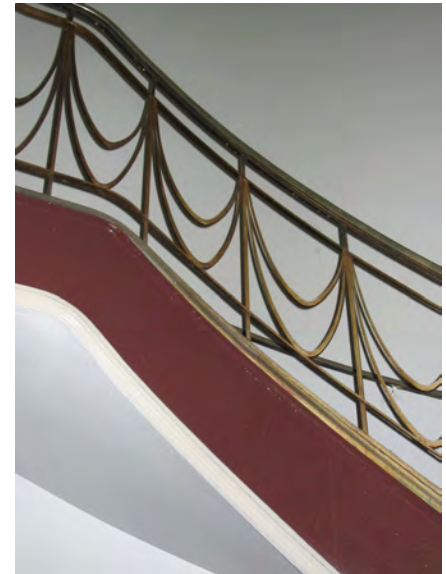
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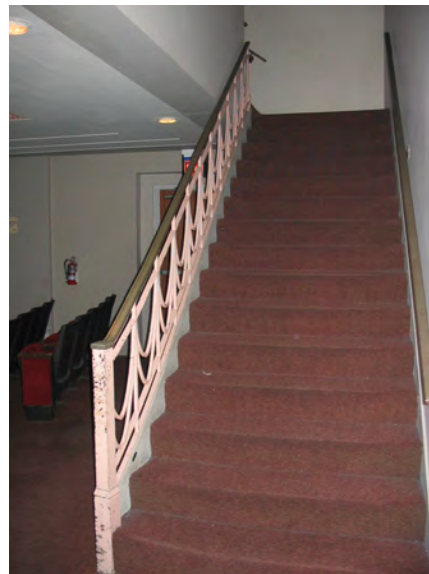
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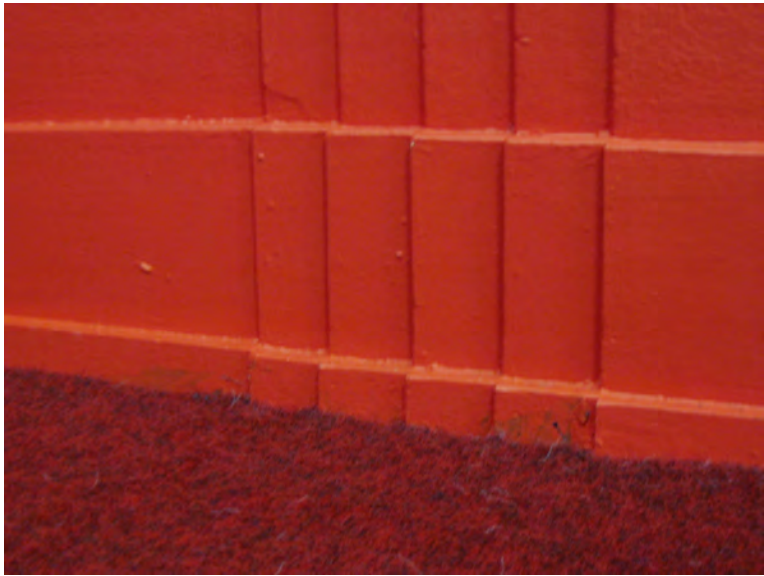
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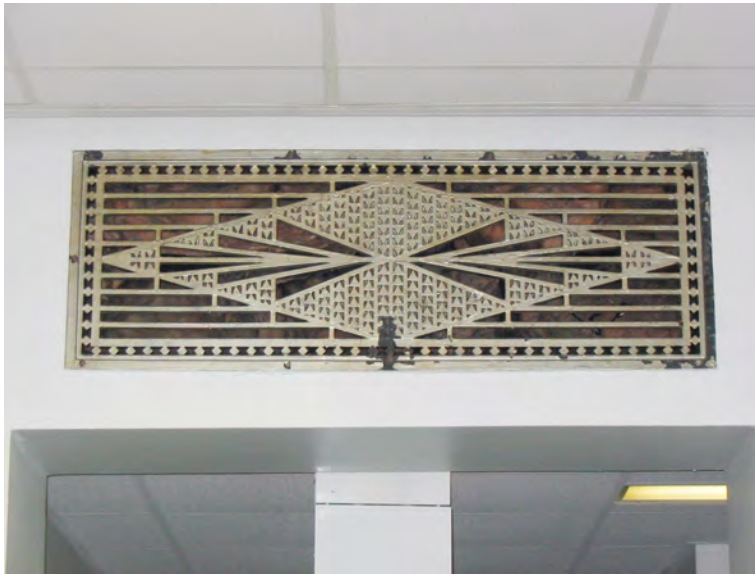
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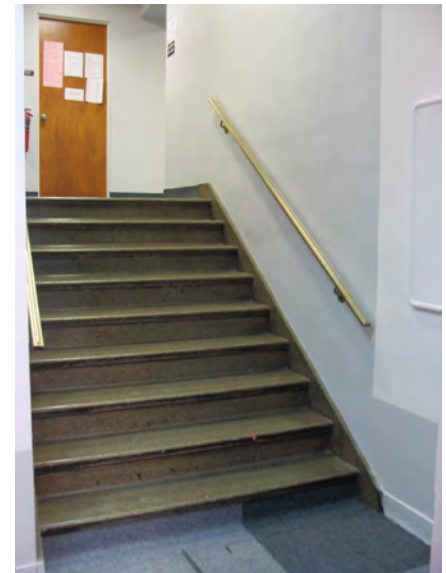
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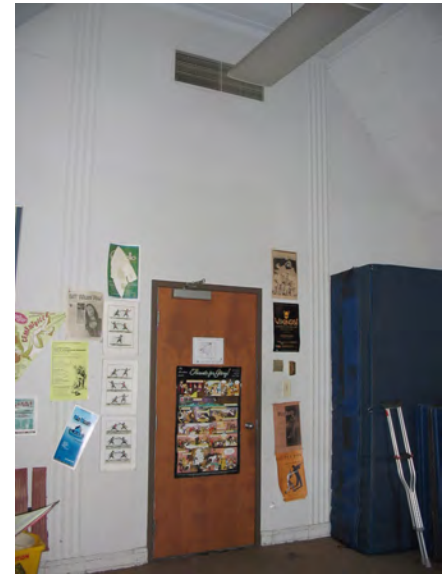
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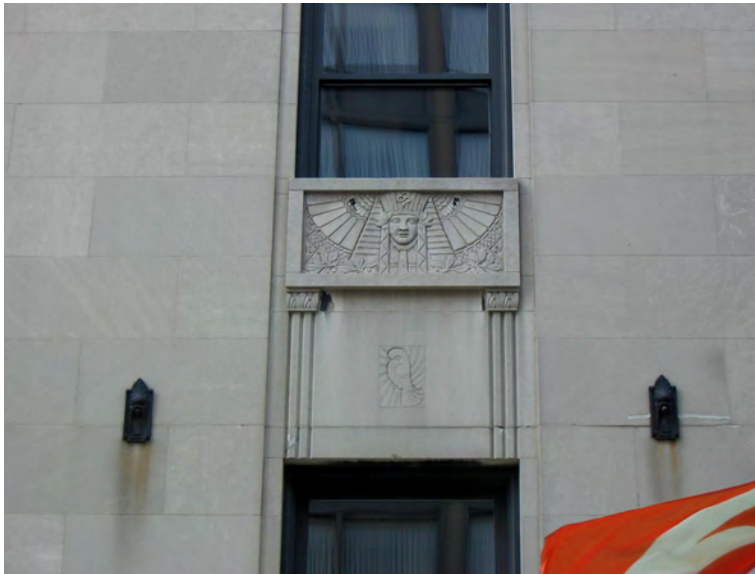
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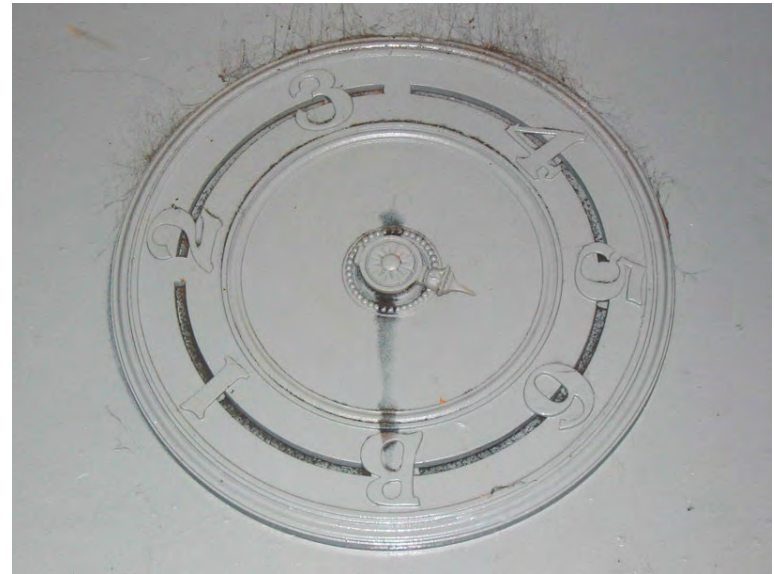
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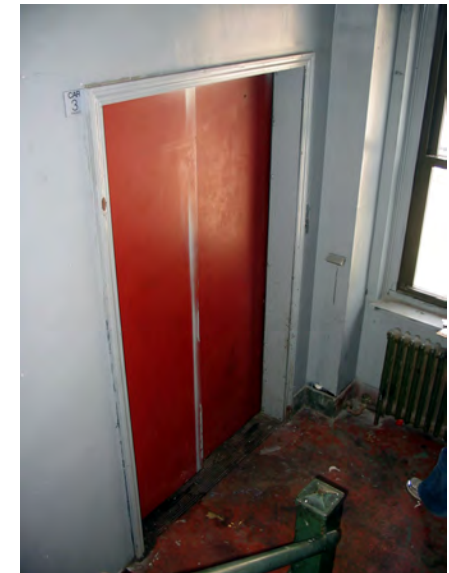
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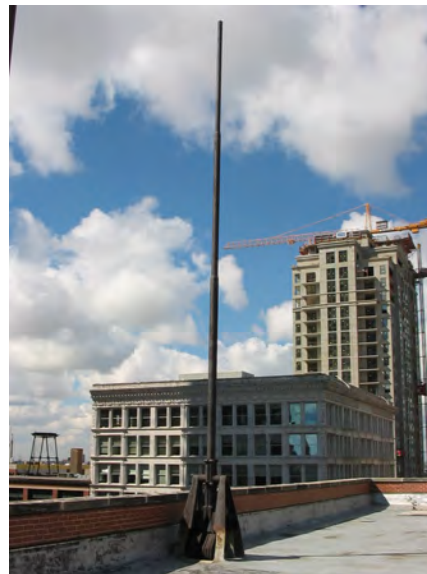
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72_1129_0005.jpg

72 East 11th Street

<u>Zone number</u>	<u>Zone name</u>
1A	Primary Exterior Elevation (South) and Returns (East and West)

The south elevation lighting of the Getz Theater Building, 72 E. 11th Street, has changed from the original design, but not drastically. Currently, there is downlighting at both entrances: the west entrance has incorporated downlights into the new canopy; while the east entrance, with its original canopy and revolving door removed, has a pair of recessed downlights above the new doors.

The original drawings by Holabird & Root show a single light in each canopy, as well as two lights located within the revolving door at the east entry. Only lighting wattages are noted. A photograph from 1930 shows a decorative fixture mounted to the underside of the west canopy, though it is too small to read any detail.

Recommendations: Though details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

- If planned restoration work involves the replacement of the original entry canopies, then the installation of lighting fixtures to replicate the originals should be considered.



South elevation – downlights above main entry.



South elevation – downlights within canopy.

- If replicating the originals proves too daunting, downlighting may be integrated within the canopies so as not to call attention to itself. New fixtures should be sensitive to the architecture.
- At the very least, consideration should be given to replacing the existing downlights in the west canopy and the east entrance. The current fixtures have lamps partially exposed, creating unnecessary glare, which may detract from the appearance of the building.

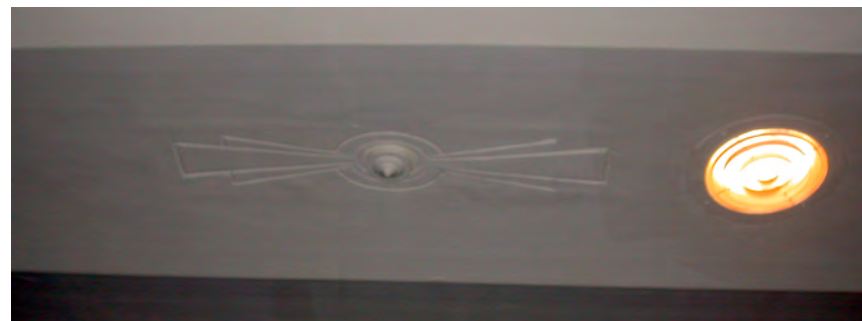


South elevation – historical photograph, c. 1930.
Note fixture mounted to underside of canopy.

<u>Zone number</u>	<u>Zone name</u>
1B	Getz Theater, West Lobby and Foyer

Within the Getz Theater, the lighting layout has changed considerably since the building was originally designed. The current lighting scheme consists of numerous incandescent downlights with white concentric ring louvers. The original layout used significantly fewer fixtures with higher wattages to illuminate the seating area. On the lower level, there were three fixtures beneath the balcony, as well as a series of steplights located along the central aisle. Tall sconces were mounted around the three sides of the audience; their locations can be seen in the drawings. Historical photographs show the style and scale of these sconces. The balcony utilized a similar layout to the floor level seating, with two large fixtures above the balcony seats and steplights down the aisles. One sconce appears to have been placed at the top landing of the stairs. In addition, four chandeliers were suspended above the audience in front of the balcony, and the four plaster ornaments marking their locations are still visible. These fixtures are visible in the historical photographs; they appear to be of the same family as the wall sconces.

The west lobby has seen alterations to the lighting layout as well. The current layout includes a grid of ten recessed downlights with gold cones, two marquis-style sconces flanking the box office



Getz Theater – downlight beside former chandelier location.



West lobby vestibule – light fixture.

window, and a ceiling-mounted fixture in the vestibule which is in

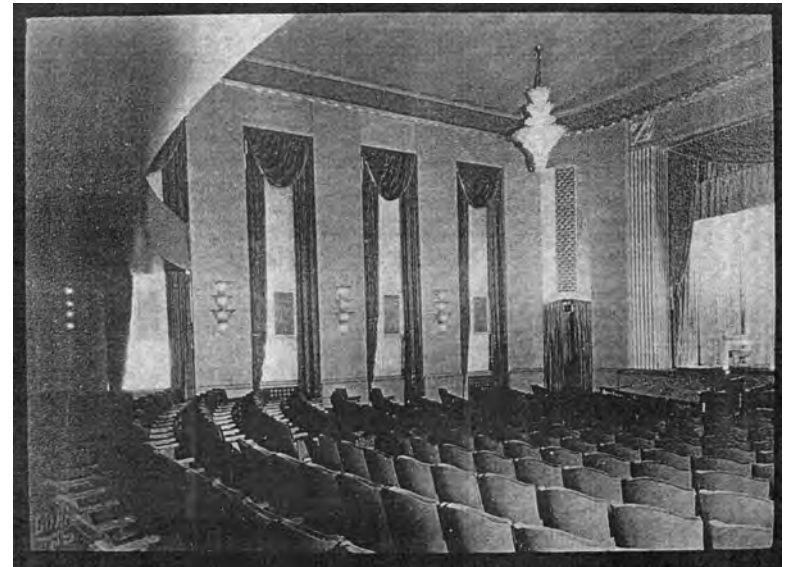
the same family as the sconces. None of these fixtures appear to be originals, though the vestibule fixture appears to be in the same location as one of the fixtures shown on the plans.

The original lighting scheme only included four fixtures: the aforementioned vestibule fixture; one central fixture, most likely a pendant; and two sconces mounted on the west wall. No evidence remains to point to what these fixtures might have been.

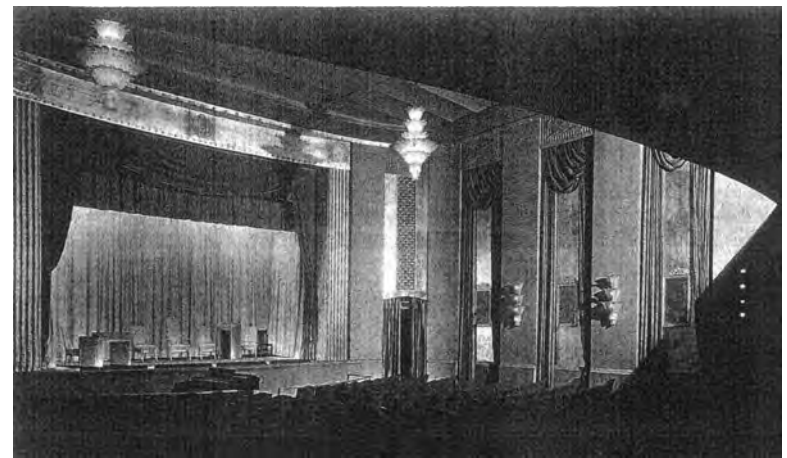
Similarly, the foyer's original lighting has been replaced with a grid of downlights. The original layout consisted of two pendants, centered along the east-west axis of the room and not quite aligned with the doors on the north wall. One of the available historical photographs shows these fixtures.

Recommendations: Though details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

- Since the original lighting with the Getz Theater may not be considered adequate by today's standards, any changes made should be sympathetic to the architecture. Decorative fixtures selected and/or designed to reflect the originals should be installed in the original locations, while additional functional lighting should be integrated carefully into the architecture and decorative fixtures so as to be unnoticeable.

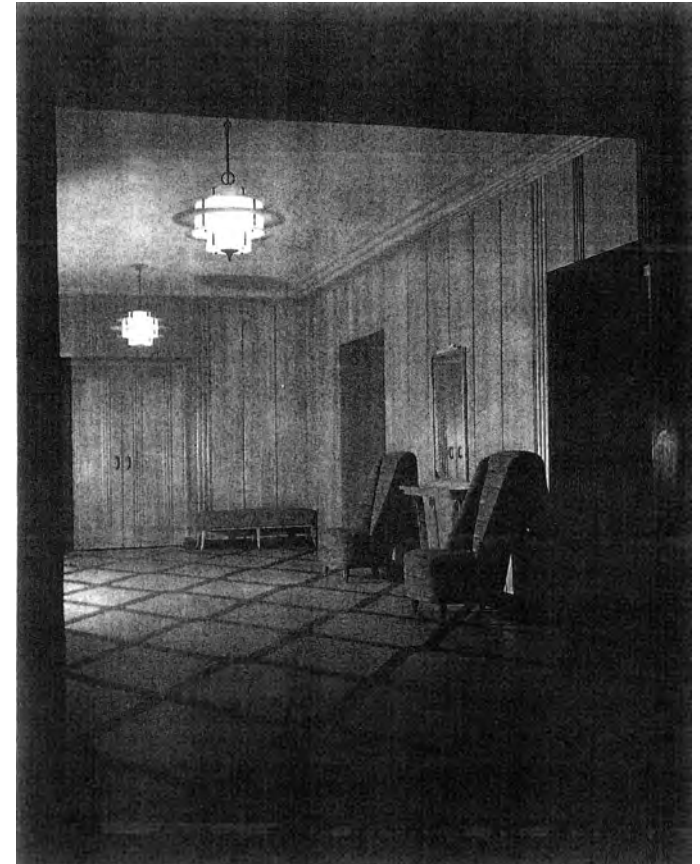


Getz Theater – historical photograph.



Getz Theater – historical photograph.

- Similar treatments should be considered for the west lobby and foyer, replacing the original lighting fixtures and minimizing the appearance and impact of additional functional lighting systems.



Theater foyer – historical photograph.

<u>Zone number</u>	<u>Zone name</u>
1C	Main Lobby and Main Stairway

The original lighting design for the main lobby was essentially a mirror image of that in the west lobby. The current grid of downlights has replaced a large central fixture, whose original location is still marked by a junction box cover. Two sconces were mounted to the east wall; though their locations are no longer apparent, they are noted on the original drawings. A similar pair of sconces flanks the entry to the foyer from the elevator lobby. The telephone booths in the main lobby, with their integral door-activated downlights, do not appear to be original.

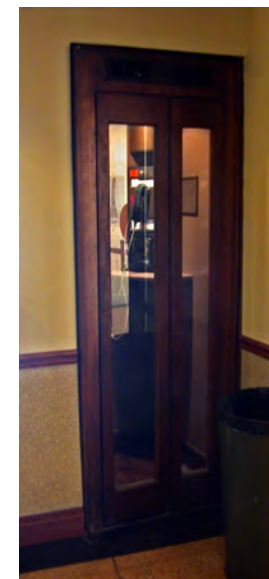
Currently, the main stairway is illuminated with wall-mounted, lensed, linear fluorescent fixtures at each landing. Battery-powered units are installed for emergency lighting. The original lighting scheme used one ceiling-mounted light fixture at the center of each landing.

Recommendations: Though details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

- As with the spaces discussed previously, care should be taken to replace the original fixtures with new ones sympathetic to the original style and architecture. As necessary, additional functional lighting should be added,



Main lobby ceiling – original fixture location visible.



Phone booth with integral light.

but integrated into the architecture or decorative fixtures so as to remain as inconspicuous as possible. All unnecessary non-historic fixtures should be removed.

- If permissible by code, battery-powered emergency units should be removed. Emergency lighting should be provided through emergency circuits in architectural light fixtures.



Main stairway fixtures – original pendant canopy visible.

Zone numberZone name

2A

Theater Classrooms (207 and 211) and
Acting Studios (301, 303 and 305)

The theater classrooms on the second floor, formerly the main dining room, have had their lighting systems significantly altered from the original designs. The current lighting system consists of a grid of pendants with exposed incandescent A lamps. It appears as though the pendants had shades or diffusers at one point, but all have since been removed. Three double-headed spotlights are mounted to the side of a coffer at the west end of Room 211, but these no longer appear to be in use, and no evidence of them appears on the original plans. The locations of sconces, part of the original design, are still marked with junction box covers. Eight chandeliers appear to have provided most of the lighting in the original space; their locations are noted in the original plans.

The third floor's acting studios, which were previously the lounge, have seen lighting changes similar to the main dining room. RLM-style pendants hang in a grid within the suspended acoustic panels. Junction box covers have been placed at former sconce locations on the fluted columns; locations and elevation sketches of these sconces are available in the drawings. To complement the sconces, the original drawings included four chandeliers. In historical photographs, these chandeliers appear to have been supplanted by table and floor lamps for general illumination.



Main dining room – bare A lamp pendants.



Main dining room – unused spotlights.

Recommendations: Though certain details of the original lighting are unknown, enough is known to make reasonable decisions regarding the building's restoration.

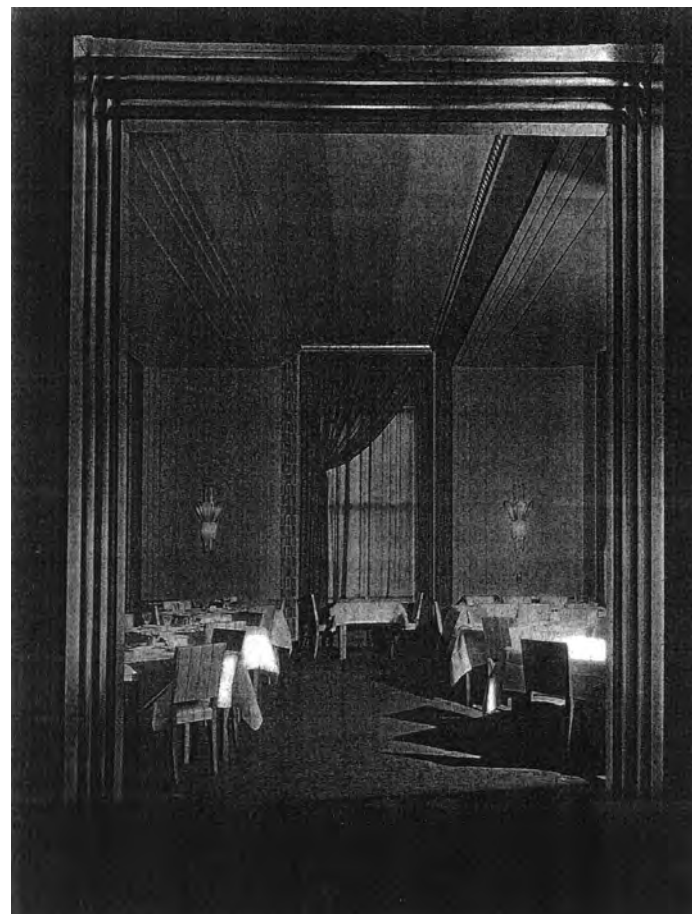
- Where the information is available, as for the lounge sconces, every effort should be made to replicate the original lighting as accurately as possible. The design of new fixtures, including ornamentation, materials and

lamping, should remain true to the architectural style of the time.

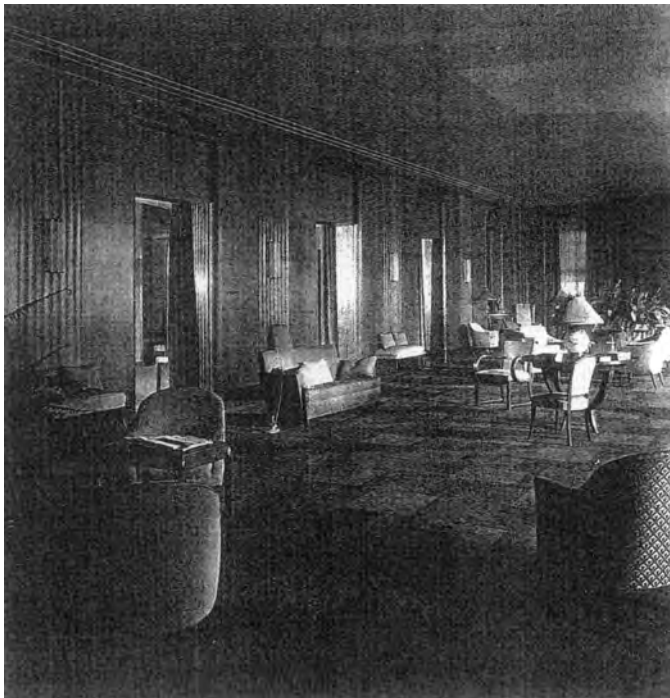
- The current light fixtures should be removed and replaced with fixtures sympathetic to the original architecture in the original locations. Decorative fixtures may be supplemented as needed with functional lighting, although any non-historic fixtures should remain as inconspicuous as possible.



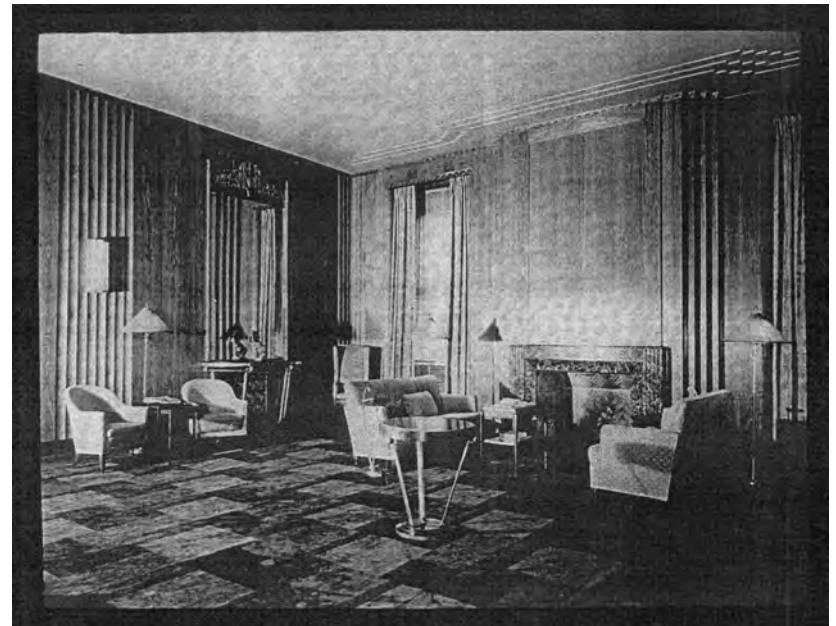
Main dining room – typical sconce location.



Main dining room – historical photograph.



Lounge – historical photograph.



Lounge – historical photograph.



Acting classrooms – RLM pendants.