

COLUMBIA COLLEGE CHICAGO  
CAMPUS PRESERVATION PLAN

Volume VII

1014 SOUTH MICHIGAN AVENUE

Submitted by  
McGuire Igleski & Associates, Inc.

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## **COLUMBIA COLLEGE CHICAGO CAMPUS PRESERVATION PLAN**

VOLUME I: SUMMARY AND PRIORITIZED RECOMMENDATIONS

VOLUME II: DESCRIPTION OF ARCHITECTURAL STYLES, HISTORIC  
BUILDING PRESERVATION GUIDELINES AND GLOSSARY

VOLUME III: 72 EAST 11<sup>TH</sup> STREET

VOLUME IV: 33 EAST CONGRESS PARKWAY

VOLUME V: 600 SOUTH MICHIGAN AVENUE

VOLUME VI: 624 SOUTH MICHIGAN AVENUE

VOLUME VII: 1014 SOUTH MICHIGAN AVENUE

VOLUME VIII: 1306 SOUTH MICHIGAN AVENUE

VOLUME IX: 731 SOUTH PLYMOUTH COURT

VOLUME X: 623 SOUTH WABASH AVENUE

VOLUME XI: 1104 SOUTH WABASH AVENUE

## TABLE OF CONTENTS

### VOLUME VII: 1014 SOUTH MICHIGAN AVENUE

Introduction.....	1
Research, Evaluation and Building Classification .....	1
Building Zones.....	1
Survey and Assessment of Elements and Features.....	4
Building Information, History and Classification.....	6
Documentation.....	7
Statement of Significance .....	8
Historical Significance.....	8
Architectural Significance .....	9
Description.....	11
Zone Numbers and Descriptions.....	14
Detailed Zone Descriptions – Zone 1: Preservation .....	15
Detailed Zone Descriptions – Zone 2: Preservation .....	22
Detailed Zone Descriptions – Zone 3: Rehabilitation .....	28
Detailed Zone Descriptions – Zone 4: Free .....	33
Bibliography .....	35

#### Appendices

A: Zoned Floor Plans

B: Survey Data

C: Lighting Consultant Report

D: Mechanical Electrical and Plumbing Consultant Survey Notes

## INTRODUCTION

This report contains the results of the research, survey and assessment of 1014 South Michigan Avenue. Evaluation of the building was completed in three stages beginning with a broad historical and architectural assessment for landmark eligibility, continuing with the classification of the building into zones and concluding with the survey and assessment of individual architectural elements.

### Research, Evaluation and Building Classification

The building was researched and evaluated to determine its eligibility for landmark status based on the classification levels listed below. The classification identifies buildings of outstanding architectural quality or associative value, and distinguishes them from buildings of lesser importance. The building has been evaluated based on the National Register of Historic Places' criteria, assessing the building's significance and the level of significance, (i.e. local, state, or national). In the text NR refers to National Register and CL refers to Chicago Landmarks. The building classification levels are:

- CLASS 1 – A building listed, or eligible for listing, as a National Historic Landmark.
- CLASS 2 – A building on, or eligible for, the National Register at the National significance level
- CLASS 3 – A building on, or eligible for, the National Register at the State or Local significance level or City of Chicago Landmark listing
- CLASS 4 – A building that is potentially eligible for the National

Register or City of Chicago Landmark listing

- CLASS 5 – A building 50 years old or older that has not been evaluated for National Register or City of Chicago Landmark eligibility
- CLASS 6 – 45-50 Pending. A building 45-50 years old that is not eligible for the National Register or City of Chicago Landmark listing, but with the passing of time may become eligible and needs re-evaluation
- CLASS 7 – A building which has been determined to be ineligible for the National Register or City of Chicago Landmark listing
- CLASS 8 – Non-Historic

Research was performed to identify the following general information:

- Building Name/Historic name
- Address
- Type
- Architectural Style/Description
- Age/Date of Construction
- Uniqueness
- Site Context
- Use
- Condition
- Modifications
- Historical Associations/Significance
- Size
- Existing documentation
- References in publications and reports

### Building Zones

Areas of the building were surveyed, assessed and assigned zone designations. Zoning divides the building into spaces based on the Phase I historic documentation and landmark evaluation and takes into

consideration historic context, architectural significance, changes over time, style, materials, and features.

Zoning recognizes that the building has different spaces holding varying degrees of historic value. This hierarchy of spaces includes primary facades, secondary facades, highly ornamented public spaces, plainly detailed public spaces, and non-public / support spaces. Zones transcend delineation by floor; it is typical that the zones divide public from private and private from utilitarian spaces. Stairways for example, are zoned vertically.

The zone level assigned to a space influences the degree of preservation treatment recommended for that space. Zoning is used to apply restoration standards to significant areas and determine areas that are open to greater degrees of modification. Definitions of the six different zones follow.

### **Level 1: Preservation Zone**

Areas exhibiting unique or distinctive qualities, original materials or elements; or representing examples of skilled craftsmanship; the work of a known architect or builder; or associated with a person or event of preeminent importance define the Level 1 Preservation Zone. Level 1 areas are distinguished from Level 2 areas by a higher concentration of finish material and detail.

The character and qualities of this zone should be maintained and preserved as the highest priority. Preserving the character of a zone

means preserving a space as it was originally designed, including its scale, ornament, and materials. Spaces in this zone represent the highest degree of detail and finish.

### **Level 2: Preservation Zone**

Areas exhibiting distinguishing qualities, original materials or elements; or representing examples of skilled craftsmanship define the Level 2 Preservation Zone. Level 2 zones are less rich in historic materials and detail compared to spaces in a Level 1 zone, nonetheless; the space is considered important to defining the unique character of the building.

Every effort should be made to maintain and preserve the character and qualities of this zone. Preserving the character of a zone means preserving the space as it was originally designed, including its scale, ornament, and materials.

### **Level 3: Rehabilitation Zone**

Areas which are modest in nature, not highly ornamented but nonetheless, may be original, with historic features which have been maintained at an acceptable level define this zone. This zone includes secondary and tertiary spaces and areas generally out of public view.

Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. The characteristics of this zone contribute to the historic appearance, date to the period of historic significance or

represent later, sensitive repair or replacement work, which should be preserved and maintained. New work in this zone should respect the existing historic fabric.

#### **Level 4: Free Zone**

Areas whose modification would not represent loss of character, code violation or intrusion to an otherwise historically significant structure define this zone. This zone may include undistinguished repetitive or recently constructed areas and additions.

Treatments, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials and designs.

#### **Level 5: Cautionary Zone Overlay**

A cautionary zone overlay has been assigned in conjunction with one of the zones 1-4 described above.

This overlay zone describes areas exhibiting potentially hazardous materials or conditions. Materials may include flammable liquids or chemicals. Conditions may include high voltage equipment, sensitive communications equipment, elevator equipment, chillers, air handling units and other mechanical equipment.

Special treatments in this area may not be required.

#### **Level 6: Impact Overlay Zone**

An impact overlay zone has been assigned in conjunction with one of the zones 1-4 described above.

Areas insensitively adapted resulting in a loss of significant historic fabric or elements define this overlay zone. Examples include large stylistically distinctive public spaces which have been inappropriately altered or subdivided into smaller spaces resulting in loss of character. An impact overlay zone can also be applied to exterior façades.

Deficiencies in this zone should be corrected and loss of fabric or historic elements mitigated when possible.

#### **Evaluation of Integrity**

Each space identified as a Level 1 or Level 2 Preservation Zone was also evaluated for integrity. The integrity was ranked as High, Medium, or Low based on the description of integrity as defined in the National Register Bulletin No. 16: Guidelines for Completing the National Register Nomination Form, 1991 which states: integrity must be evident through historic qualities including location, materials, workmanship, feeling or association. Historic integrity is the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's prehistoric or historic period. Historic integrity is the composite of seven qualities:

- Location
- Design
- Setting

- Materials
- Workmanship
- Feeling
- Association

Not only must a property resemble its historic appearance, but it must also retain physical materials, design features, and aspects of construction dating from the period of significance. All seven qualities do not need to be present for eligibility as long as the overall sense of a past time and place is evident.

### **Survey and Assessment of Elements and Features**

An on-site survey of the exterior and the interior of the building was performed to identify, describe and rate building elements and features. The exterior was observed from the ground and from roof tops. Interior spaces were observed on site with Columbia College staff accompanying team members in non-public areas. The team was supplemented with lighting consultant, Schuler Shook and mechanical, electrical and structural engineers, Calor Design Group, Ltd. Their role was to evaluate conditions and consult with team professionals on appropriate corrective actions for lighting and building systems that impact facades and areas zoned for preservation.

During the on-site survey, information was gathered for each building element and feature. This information was collected on survey forms, one for each zone, and included the following:

- **Description:** A brief description of the physical characteristics

of each element or feature, original and non-original.

- **Rating:** A preliminary treatment rating of each element that takes into account the building's historic and architectural importance.
- **Inventory:** An approximate quantity of the elements or features rated for preservation (i.e. square footage of marble veneer or number of ornamental light fixtures).
- **Condition:** A condition assessment of each element rated for preservation as Good, Fair or Poor.

Each element was rated for its historic importance. The rating categories are as follows:

- 1: Preserve
- 2: Preserve wherever possible – replace in kind if too deteriorated to save
- 3: Preserve wherever possible – if too deteriorated, replace with compatible material and design
- 4: Preserve where there is no compelling reason to remove
- 5: Remove/Alter/Replace
- 6: Specified treatment not required, if any work is done it should be sympathetic

Elements rated as preservation categories 1 and 2 were photographed and the condition and quantity of each element was noted. The condition categories are as follows:

- Good** The element is intact, structurally sound, and performing its intended purpose.  
There are few or no cosmetic imperfections.  
The element needs one repair and only minor or routine maintenance.

**Fair**     There are early signs of wear, failure, of deterioration, though the element is generally structurally sound and performing its intended purpose.  
There is failure of a subcomponent of the element.  
Replacement of up to 25% of the element or replacement of a defective component is required.

**Poor**     The element is no longer performing its intended purpose.  
The element is missing.  
Deterioration or damage of more than 25% of the element and cannot be adjusted or repaired.  
The element shows signs of imminent failure or breakdown.  
The element requires major repair or replacement.

The information gathered in the field was entered into a database. The survey data was grouped by zone and significant original material and elements were evaluated, taking into consideration their importance and condition. Based on the evaluation, prioritized recommendations have been made to address items found to be deficient as well as items that impact the integrity of areas zoned for preservation. If additional studies or professional assessments are required, these are noted in the report.





Photo: McGuire Igleski & Associates, Inc., 2004

Name: Columbia College Music Department

Address: 1014 – 16 South Michigan Avenue

Size: 4 stories / 56 feet x 127 feet  
Approximately 28,000 square feet

Historic Information:

Architects: Christian A. Eckstorm, 1912-13. Contractor: Henry Ericson Company. Robert C. Work, exterior and extensive interior renovation, 1946-47. Contractor: L.C. Germs

Historic Name: Sherwood School of Music

Present Name: Columbia College Music Department

Acquired by Columbia College: 1998

Original Building Type: Office

Style: Classical Revival with Beaux Arts features

HBPP Building Classification:

Class #3: A building on, or eligible for, the National Register or City of Chicago Landmark designation.

Significance:

National Register Designation: Eligible  
City of Chicago Historic Designation: Contributing resource to the Historic Michigan Boulevard Landmark District – 1993.

City of Chicago Historic Resources Survey:

Color Code – ORANGE. “Orange properties possess some architectural feature or historical association that made them potentially significant in the context of the community.”

#### Drawings:

The Chicago Historical Society (CHS) Architectural Drawings & Materials Archive: Robert C. Work & Russell Walcott Collection.

See: Work & Walcott file (accession #1981.1):

- Job # 66, “Studies for Sherwood Music School, Remodeling of Bldg. at 1014 South Michigan Ave., Chicago, Dec. 11, 1946.” (56 drawings for the 1946 renovation)

Drawings maintained by Columbia College and provided by Irv Meyer, Engineer:

Original drawings and copies of original drawings:

- C.A. Eckstorm. “Building for Mr. Frederick S. Oliver. W.W. Cor. Michigan & Harmon Court.” April 1912.

Alteration Drawings by Robert Work, Architect:

- Sketch Plan Alterations: (2<sup>nd</sup> 3<sup>rd</sup>, 4<sup>th</sup> Floor Plans), December 1945.
- Sketch: Sketch of Clock on Trace
- Notes: Handwritten notes on water supply & stacks on plans
- Proposed Library, 3<sup>rd</sup> Floor, December 1946.
- 3 complete sets of sheets 1-3. November 1946.

- Miscellaneous sheets, most dated 1946/1947: Sheets 3A, 4-18, 20-23, 25, 30-52; miscellaneous detail sheets and shop drawing sheets.

#### Existing Publications and Reports:

Commission on Chicago Landmarks. *Chicago Historic Resources Survey*. Chicago: City of Chicago, Department of Planning & Development, 1996.

Commission on Chicago Landmarks. *Preliminary Summary of Information on the Historic Michigan Boulevard District*. City of Chicago: Department of Planning & Development, 2000.

#### Graphic Documentation:

Commission on Chicago Landmarks. *Chicago Historic Resources Survey*. Chicago: City of Chicago, Department of Planning & Development, 1996.

Commission on Chicago Landmarks. Photographic File, accession #1984-37, “Michigan Avenue – Grant Park, 11<sup>th</sup> to 9<sup>th</sup> Street, 1983. Bob Thall, photographer. City of Chicago, Department of Planning & Development. Reproduced in *Preliminary Summary of Information on the Historic Michigan Boulevard District*. City of Chicago: Department of Planning & Development, 2000.

## Terminology

National Register of Historic Places (NR)

City of Chicago Landmark (CL)

## Statement of Significance

The building at 1014-16 South Michigan Avenue has important historic associations with a significant cultural and educational institution, is architecturally significant for its overall design, fine materials, details, and degree of integrity, and is a contributor to the character of the Beaux-Arts-inspired urban plan. It's significance dates to major alterations by the Sherwood School of Music (1946-1947).

## Historic Significance

The 1014-16 South Michigan Avenue building was built in 1912 for Frederick Oliver, a real estate developer, as a speculative building with retail stores on the ground floor and loft spaces above.

“During its first 30 years, (*the 1014 South Michigan Building*) housed offices for a shingle distributor, lumber company, and electrical parts manufacturer. In 1941, the building was rehabilitated for the Sherwood Conservatory of Music, founded in 1895 by William H. Sherwood, a piano virtuoso, teacher, and composer.” (Commission on Chicago Landmarks *Preliminary Summary of Information on the Historic Michigan Boulevard District*, p. 21.) The founder of this school, William H. Sherwood (d.1922), was born to a prominent family in Vermont. His paternal grandfather, Lyman Sherwood, was a state senator in New York, and his

great uncle, Lorenzo Sherwood, was a state senator in Texas. William received his first musical training from his father, the Rev. L.H. Sherwood, who founded the Lyons Musical Academy in Lyons, New York, which was reputedly only the second educational institution in the U.S. dedicated exclusively to teaching classical music.

In the early 1870s, William's talent at the piano led him to Europe to study for several years under Theodore Kullak, principal pianist of the Royal Conservatory of Berlin. He subsequently studied with several other prominent musicians, including Franz Liszt. Arriving in Chicago around the time of the World's Columbian Exposition in 1893, he was, along with Chicago's Theodore Thomas and Dr. Florenz Ziegfeld, an energetic supporter of Germanic classical music. Sherwood became widely active in Chicago's cultural life, and his daughter later married Albin Polasek, head of the sculpture department at the School of the Art Institute, and the creator of the Theodore Thomas Memorial sculpture in Grant Park.

Among those associated with the Sherwood School of Music in later years were: Sidney J. Silber (d.1959), a concert pianist, editor of *Etude* magazine, and director of the Sherwood School from 1922 to 1940; Regnhild Holmquist Congdon (d.1963), a faculty member, who founded the Kenosha Symphony; and, Rudolph Reiners (d.1965), head of the strings department at Sherwood, first violin with the Chicago Symphony for 30 years, and conductor of the Peoria Symphony.

The school's most famous alumna, although she is not known for her

musical prowess, may be the comedienne Phyllis Diller, who was a piano student at the Sherwood School in the 1930s but did not graduate. In her comedy career, “Diller has appeared as a piano soloist with over 100 symphony orchestras playing Beethoven and Bach under the name Dame Illya Dillya.” (Horowitz, *Queens of Comedy*, p. 46.)



Photo: Chicago Historical Society, Bob Thall Collection, 1984.

The Sherwood School of Music was originally located in the Fine Arts Building, 410 South Michigan Avenue. In 1941 it bought the 1014-16 South Michigan Building, but it was not until 1946 that the school began work on an extensive renovation to make it better suited for educational purposes (permit #71717, Book 56, p. 182, May 27, 1946). Designed by architect Robert C. Work, the renovation included extensive interior alterations to all four floors and a new mansard roof configuration. A

new Michigan Avenue entrance and lobby was completed later.

The Sherwood School of Music, institutionally and architecturally, was absorbed by Columbia College Chicago in 1997. The artistic, cultural and performance education tradition of this building, as it was adaptively reused since the 1940s, is continued today in the programs of the Music Department of Columbia College.

#### Architectural Significance

The Classical design philosophies of the Parisian Ecole des Beaux-Arts became the preferred stylistic expression in public architecture at the turn of the 20<sup>th</sup> century in the United States. This was particularly true in Chicago, site of the World's Columbia Exposition of 1893, which was known as the White City for its predominantly classical revival landscape and building designs. This event spurred what came to be known as the City Beautiful movement, an attempt to reorganize American urban spaces on a classically-inspired hierarchical model. In order to emphasize order in civic life, planners and architects envisioned an urban environment wherein the design of buildings and their placement indicated their relative civic importance. In this hierarchy, public buildings and cultural institutions were held in the highest esteem, and were therefore given the most prominent locations and elaborate decorative schemes. Commercial enterprises participated in this effort to improve the urban environment on a less grand level than public institutions; however they did commission buildings of architectural significance in prominent locations.

The four story structure was built from plans by Christian A. Eckstorm, who designed it to be a contributor to the developing Michigan Avenue frontage on Grant Park (permit # A4153, Book C 4, p. 14, May 22, 1912). Eckstorm began his career in the office of Henry Ives Cobb, a designer of many prominent civic buildings. Among Cobb's more notable works were the Chicago Historical Society Building (CL) at 632 North Dearborn Street (today the Excalibur Club), the Newberry Library (CL), and the original plan for the University of Chicago campus, including many of its early buildings. Eckstorm was the chief draftsman in Cobb's office during the late 1890s; when Cobb left Chicago for New York in 1902, Eckstrom started his own firm.

Like his mentor, Eckstorm was expert at interpreting historic architectural styles for various building types. Eckstorm's works included many prominently located industrial buildings, like the Pugh Warehouses (now called the North Pier Terminal Building), and several well-known high rises, including the Patten Building of 1905 (CL, NR); the Mallers Building of 1912 (CL) at Madison and Wabash Avenues; the Garland Building of 1915 (CL) at Washington and Wabash Avenues; and, the three buildings owned by Columbia College and detailed in this report: the Harvester Building at 600 South Michigan Avenue, the Musical College at 624 South Michigan Avenue, and the Sherwood School of Music at 1014 South Michigan Avenue (all CL, Historic Michigan Boulevard District).

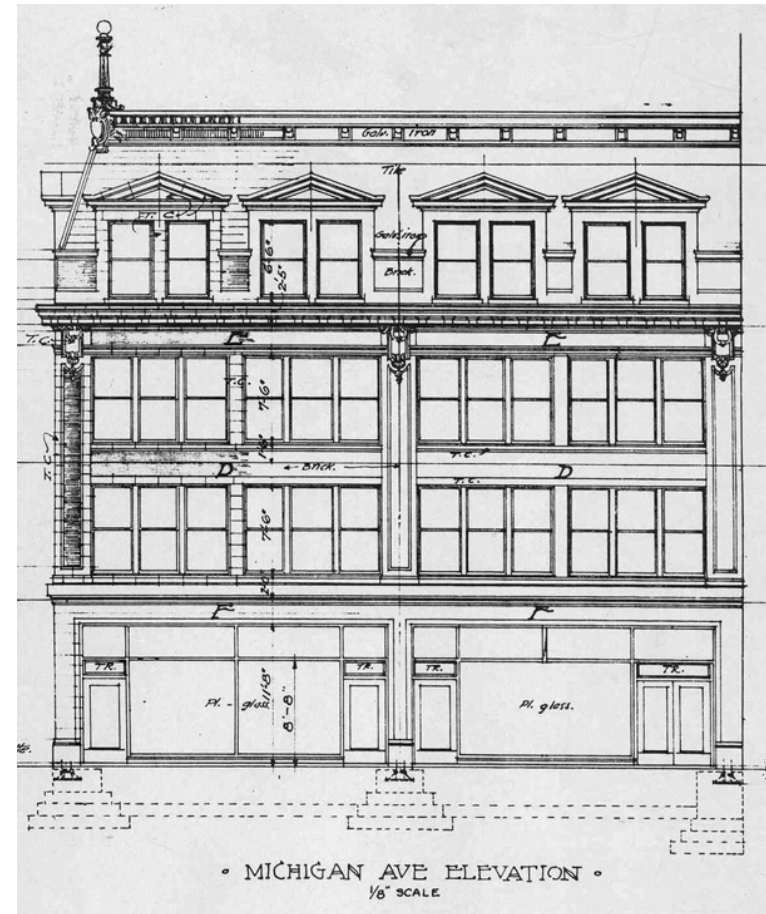


Image: Portion of original drawing, 1912.

The 1014-16 South Michigan Building is a Classical Style building facing one of Chicago's most prominent public amenities, Grant Park. Its classical revival design is articulated with white terra cotta detailing on its second and third floors, with a terra cotta cornice atop its third floor, above which is a mansard roofed fourth floor with pedimented dormers.

This current roof configuration is part of the building rehabilitation of 1946-48. The original roof had a less steeply angled slope, with pedimented dormers, and without the brick walls. In its massing and detailing, if not in its scale, it contributes to the civic ideal of the Ecole des Beaux-Arts.

The style, quality of materials, scale, and location of the 1014-16 South Michigan Building make it an example of the City Beautiful movement. Its date of construction, 1912-13, made it a contributor to the ideal of civic conscientiousness exemplified by the famous Plan of Chicago of 1909, by architect Daniel Burnham. These qualities make the building a contributing resource in the locally designated Historic Michigan Avenue

Boulevard District, the collection of buildings facing Grant Park and Lake Michigan that forms what is informally known as “Chicago’s front yard.” The majority of these buildings share, to a lesser or greater degree, the Beaux-Arts style of the 1014-16 South Michigan Building, reinforcing their collective impact and identity as a locally designated landmark district.

While originally designed as a retail investment property, its design, details and materials were in keeping with the precepts of the Ecole des Beaux-Arts, enabling the transition from retail and office use to use as a cultural institution. The fact that a building used for so long as a musical college continues to serve music students is a demonstration of its heritage.

## Description

The building occupies its entire lot on Michigan Avenue and, as part of the Michigan Boulevard District, faces Grant Park to the east, 11<sup>th</sup> Street to the south, and an alley to the west. To its north is the eight story Graphic Arts Building; to the west is the Getz Theater Building.

The 1014-16 South Michigan Building is a four story, plus a partial basement, structure. The structure consists of masonry exterior walls, a row of cast iron columns and beams centered from front to back supporting wood joists. Columns are resting on stepped footings. On its street facades it is faced with red brick and trimmed in white terra cotta that carries restrained classical detailing. A cornice above the third floor supports the mansard roof of the fourth floor, which features pedimented dormers on its Michigan and 11<sup>th</sup> Street frontages. The west elevation is common brick.

The building is divided into two large bays on Michigan and seven narrower bays on 11<sup>th</sup> Street. On Michigan these large bays are subdivided on the second and third floors by two groups of three windows separated by terra cotta mullions. Each group of three windows is topped with a fourth story pediment terra cotta clad dormer, now flush with the 1946 brick walls of this floor. The narrower bays on 11<sup>th</sup> Street are similarly treated but with only two windows in each subdivision and with only one dormer per bay. The more intense terra cotta detailing on Michigan wraps the corner and is evident on the easternmost bay of 11<sup>th</sup> Street. The balance of the 11<sup>th</sup> street façade is primarily brick with

simple terra cotta bands above the first and third floors.

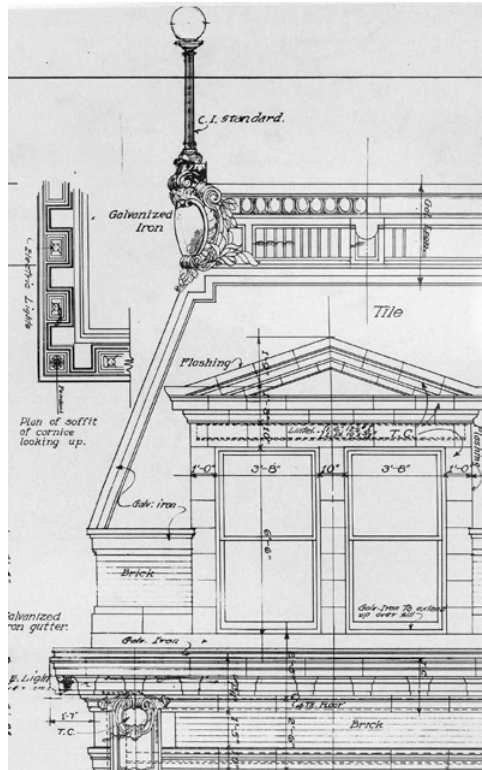


Image: Portion of original drawing, 1912.

Although of brick and of modest scale, the combination of the building's massing, in particular its mansard roof altered as part of the 1946 changes, its restrained ornament, including the projecting cornice above the third floor and the ornamented pilasters, references the Classical Revival Style and includes Beaux-Arts details.

The interior underwent a major renovation in 1946 and except for stairs, elevator locations and major hallways, most of the original interior loft spaces have been altered.

Overall the building is in good condition and relative to the historic modifications of the 1940s has a high degree of integrity.

#### Major Alterations

The 1014-16 South Michigan Building has undergone exterior alterations since its construction in 1912. Building permit records indicate that alterations to the exterior of the building, including the reconfiguration of the mansard slate clad roof on new brick walls and a new Michigan Avenue entrance and lobby exclusively for the school, occurred in 1946 when architect Robert C. Work designed the renovation for the Sherwood School of Music. Other exterior work included alterations to the storefronts in 1934. Drawings also indicate that the exterior front entrance was altered in 1952/53 and show a new oak door, frame and trim as well as a leaded glass transom. Currently there is an awning on a metal frame over the entrance.

On the interior, the most significant alterations to the 1014-16 South Michigan Building were made during the 1946 renovation. These include: a first floor lobby, recital rooms with paneled wood doors and leaded glass transoms, a recital hall on the second floor, a library and reception room on the third floor, a skylight on the fourth floor, new toilet rooms and new mechanical systems.

A restaurant once occupied the first floor space; however, that area is now a new lobby and a performance/lecture hall built for Columbia College.

Recent permits document the replacement of windows with metal of “same type, size, and location” in 1997; and a partial renovation of all four floors by Columbia College in 1998 (permit #867307, issued March 12, 1998). Storefronts have been replaced including the window on 11<sup>th</sup> Street at the corner and those fronting Michigan Avenue.

Note: At the time of this report, a modification to the Michigan Avenue entrance is planned.



### **Zone Numbers & Descriptions**

The exterior and interior spaces of the Columbia College Music Department, formerly the Sherwood School of Music, have been assigned zone level numbers which identify the level of significance that spaces possess. The zones identified are listed below.

#### Zone Level 1: Preservation

- 1A – Primary Exterior Elevations (East and South), Return (West) and Mansard
- 1B – Entrance Lobby and Main Stairway (East)

#### Zone Level 2: Preservation

- 2A – Third Floor Lobby and Chairman's Office (301)
- 2B – Recital Hall (207)

#### Zone Level 3: Rehabilitation

- 3A – Secondary Exterior Elevations (West, North and Lightcourt)
- 3B – Roof
- 3C – Northwest Stairway

#### Zone Level 4: Free

- 4A – Non-historic / Significantly Altered Spaces

### **Detailed Zone Description – Zone 1: Preservation**

<u>Zone number</u>	<u>Zone name</u>
1A	Primary Exterior Elevations (East and South), Return (West), and Mansard

The Columbia College Music Department building was designed in the Classical Revival Style with Beaux Arts features. Located on the northwest corner of South Michigan Avenue and 11<sup>th</sup> Street, the primary elevations face both east and south; the building is four stories high. The east façade is two bays wide, each bay divided by two sets of windows on each floor. The south façade is seven bays long, with two sets of windows in each bay except at the fourth floor that has one set of windows per bay.

The façades have a varied base of limestone, granite and brick, and the walls are red brick with white terra cotta ornament. There is a terra cotta belt course above the first story and a terra cotta cornice above the third story. These details continue at the west façade wall return. The fourth story is topped by a mansard roof with terra cotta pedimented windows between which are red brick walls crowned with dentils.

The mansard roof has slate tiles with copper snow guards as well as copper flashing at the roof line. There is a metal gutter above the third floor cornice which pitches to a single internal drain at the 11<sup>th</sup> street elevation. The roof slate appears to be in fair condition. Some loose slate is caught by the roof snow guards.



*Exterior façade at the southeast corner*

Additional ornament on the east façade, and the first bay on the south façade, includes terra cotta modillions at the third story cornice and terra cotta lintels and mullions at the windows. These bays are framed with brick and terra cotta pilasters topped with scrolled cartouche panels.

The terra cotta elements are in good to fair condition, with some cracks, spalls, and displaced units. There are non-matching replacement units and patched units. Damaged terra cotta at window lintels is an indication of steel corrosion; other cracking may be a result of differential settlement. The terra cotta deterioration appears to have been routinely maintained for the short term.

The main entrance is located at the north end of the east facade, within a semi-circular recess of polished granite, detailed in drawings dated 1953. Modification to this non-historic entrance is planned. There is a set of double doors, which lead into the main lobby, comprised of wood and glass divided lights. Above the doors a single transom of leaded glass displaying the address number for the building is framed in wood. There is a contemporary metal awning installed over the door displaying Columbia College's name and logo. The western most bay of the south façade has a service entrance. The door and frame are steel with a louvered vent overhead.

Storefronts on the 11<sup>th</sup> Street elevation on the first story are framed in cast iron. Originally, each bay had a storefront and adjacent door.

Storefronts and doors have been infilled with brick, others have been boarded-up with wood. Some of the transom glass has been painted while other transoms have been boarded-up from the interior.

Storefronts and transoms have been replaced with aluminum on the Michigan Avenue elevation and first bay of the 11<sup>th</sup> Street elevation. The upper stories have double hung aluminum replacement windows. The period of significance for this building is 1946-47 when it was altered to its current configuration. The renovation included extensive interior alterations to all four floors, a new mansard roof configuration, and a new Michigan Avenue entrance and lobby. The original roof had a less steeply angled slope, roof cresting, and pedimented dormers without the brick walls. Although the windows, storefronts and main entrance have been replaced since the 1940s remodeling, the facades retain a high degree of integrity relative to its period of significance.



*East façade storefront windows*



*Detail of Terra Cotta ornament at third floor*



*Brick and terra cotta returns at south elevation*

#### Architectural Recommendations

The Columbia College Music Department, as a building eligible for listing on the National Register of Historic Places and a contributing resource to the City of Chicago's Historic Michigan Boulevard Landmark District, the character and qualities of the building should be maintained and preserved as the highest priority. The continued preservation of the exterior character of the building includes preserving its design, scale, materials and ornament. Work should be undertaken with the highest consideration to preserving the original design character and materials, and new work or repair should be completed in a manner sympathetic to the historic character of the building.

Historic elements of these facades have been rated for preservation. All of these elements appear to be in good to fair condition. If any of the material is deteriorated or damaged, sensitive repairs should be made;

if beyond repair, replication in identical materials is recommended.

- Conduct a comprehensive façade inspection to identify problem areas and design a program for terra cotta and brick repair. Conduct comprehensive terra cotta and brick façade restoration including repair and replacement of deteriorated terra cotta and anchors; tuckpointing with an appropriate mortar; and new sealants at wash joints and windows. Maintain granite wall base by performing routine inspections to locate and correct causes of deterioration.
- Inspect the roof slate for loose, broken and detached units and repair.
- Verify positive pitch and clear drainage at the 3<sup>rd</sup> floor cornice gutter. Repair to restore functionality and prevent overflow.
- Maintain the cast iron store fronts with paint.
- Entrance awnings should be of a design that is more historically appropriate.
- When replacement of the non-original windows or storefronts is considered, the new units should reflect the appearance of the original. This work should be done based on available historic documentation and should incorporate restoration of both materials and design.
- Most of the storefront openings on the 11<sup>th</sup> Street elevation have been boarded up or infilled. These spaces can be greatly

improved by reinstalling appropriately designed storefront windows and creating a soffited space behind them. These storefront areas can then be used for display or exhibits.

- Avoid contact with detrimental deicing salts that can damage the wall surfaces.

#### *Lighting Recommendations*

The current lighting scheme includes several small floodlights to illuminate flags, and fluorescent striplights under the Michigan Avenue entry awning. The renovation drawings suggest that no exterior lighting existed originally; however, the original drawings show fixtures between the modillions of the third story cornice with round bulb lights. The same drawings also show light fixtures mounted under the belt course above the first floor although it appears they were never installed.

Any changes made should be sensitive to the building's architectural character. Original drawings should be used as a reference for restoring exterior lighting elements.

- Consider restoring the third story cornice mounted light fixtures which are missing; however, the extant fittings are in poor condition but provide evidence of the placement of fixtures. Historically, these fixtures would have cast white light.
- The floodlights, though small, are finished in black and are not integrated within the architecture. If desired, new lighting

should be designed that better integrates with the building or nearby street lighting poles.

- The fluorescent striplights and their associated exposed conduit behind the awning are large and conspicuous. Fixtures should be replaced with smaller, better concealed fixtures, which can illuminate the entryway and not attract attention to them.

#### *Mechanical / Electrical Recommendations*

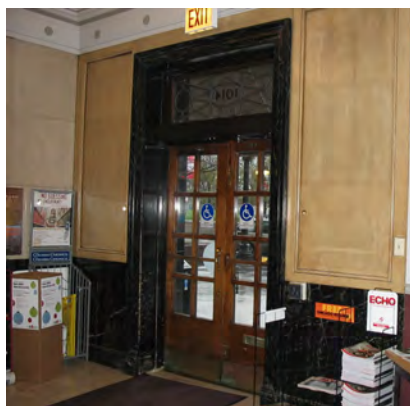
- Remove window air conditioners on the Michigan Avenue elevation. As an alternative, install split system air conditioners such as what was installed for the third floor office suite. Such systems have interior fan coils and roof-mounted condensing units or other heat rejection equipment.
- The west side of south elevation has masonry infill with HVAC louvers. The ventilation functions of the louvers could be moved to the west elevation or the roof.
- Interior soffits at storefronts and windows, often used for HVAC and lighting, are set back from the glass. Because soffits can adversely impact the exterior facades, it is important to continue to keep soffits minimal and away from the glass.



### **Detailed Zone Description – Zone 1: Preservation**

<u>Zone number</u>	<u>Zone name</u>
1B	Entrance Lobby and Main (East) Stairway

The entrance lobby plan is squared at the front and semi-circular at the rear. The floors are travertine and the walls are marble. The walls are detailed with a black marble wainscoting and cream marble dado. The dado is topped by a plaster cornice with crown molding. The interior door surround and at each side of the main entrance wood panels are faux painted to look like marble. Moving west, a large stained wood door frame articulates the entrance to the elevator lobby.



*Detail of main entrance*



*Detail of elevator lobby, main floor*

The elevator lobby is narrow with the same floor and wall finishes as the entrance lobby. The elevator is located on the north wall and is framed in wood with a pedimented cornice. The main stairway is directly adjacent to the elevator. A sequence of steps and landings leads to the upper floors.

The steps are metal with treads and landings of terrazzo, the railings are ornamental iron with a wood handrail, the walls are plaster with a wood molding and each floor entrance door is surrounded by wood trim and topped with a triangular, broken pediment. The walls at each large floor landing have wood moldings decorated with swag and tassel motifs.

These spaces retain a high degree of integrity.



*Typical floor landing*

### *Architectural Recommendations*

The Entrance Lobby and Main Stairway are highly significant spaces in the building, exhibiting distinctive qualities, original materials and elements and a high level of finish detail. The lobby as public space and the stairway as the only ornamented circulation space, have been designated as a Zone Level 1: Preservation. The character, configuration and qualities of these spaces should be maintained and preserved as the highest priority. Work in these spaces should be undertaken with the highest consideration to preserving the original design character and materials, and new work or repair should be completed in a manner sympathetic to the historic character of the space. If any of the decorative ornament is damaged, sensitive repairs should be made; if beyond repair, replication in identical materials is recommended.

Elements identified within this zone that have been rated 1 or 2: Preservation are all features and materials original to the building. All of these elements appear to be in good condition. Significant elements within this zone include travertine and terrazzo floors; marble wall elements; plaster finishes; wood trim; brass hardware; and cast iron ornament. Continued and proper maintenance of these elements will contribute to the preservation of these spaces.

- Organize and locate the newspaper boxes, free standing signage and other containers to minimize a cluttered appearance.

### *Lighting Recommendations*

The current lighting layout in the entrance lobby consists of several fixture types. There is a pendant located in the middle of the lobby ceiling, which is not original; neither are the recessed compact fluorescent downlights in the adjacent dropped ceiling. Square, recessed incandescent downlights in front of the elevator also appear to be relatively recent additions. The 1946 renovation drawings show the location of five light fixtures – four in the main lobby space; one in front of the elevator – with no additional evidence as to what type of fixtures they might have been.

The stairwell currently has lensed linear fluorescent fixtures surface-mounted above the landings, some fed with exposed conduit. Emergency lighting is provided via battery-powered units. The drawings show that the original lighting consisted of a single fixture centered in the stair hall on each floor. No additional lighting appears to have been included for the intermittent landings.

Without any historical reference to the original fixtures, any changes to the lighting should be sensitive to the original architecture.

The fixtures currently lighting the lobby should be removed and replaced with fixtures in the original locations. Every effort should be made to install fixtures sensitive to the original architecture.

- The surface-mounted fluorescent fixtures in the stairwell should be replaced with fixtures in the original locations, and all

exposed conduit should be removed. New fixtures should be sympathetic to the original architecture.

- Historic fixtures may need to be supplemented with additional functional lighting, though the appearance of any of these fixtures should be minimized.
- If permissible by code, battery-powered emergency units should be removed. New emergency lighting should be provided through emergency circuits in existing light fixtures.

#### *Mechanical / Electrical Recommendations*

- Any HVAC, plumbing, sprinkler system or electrical piping or ductwork passing through the main staircase should be relocated to less critical areas. The mechanical and electrical needs in the stairwell are minimal. The piping, ductwork and conduit do not have to be in the crucial zone.
- If there is any ceiling work, the pendant sprinkler heads could be changed for less obtrusive recessed type heads.



### Detailed Zone Description – Zone 2: Preservation

<u>Zone number</u>	<u>Zone name</u>
2A	Third Floor Lobby and Chairman's Office (301)

The Chairman's Office and the Lobby for the Music Department are on the third floor and contain a high degree of decorative finishes.

The floors are stained oak with baseboards. The walls are plaster. Chair rails divide wainscot from dado, and crown molding is at the ceiling. The ceiling is plaster with large plaster boxed beams. In the reception area, the beams, in combination with columns, divide lobby, reception and sitting areas. These round Tuscan columns are plaster with fluted capitals.



*View of Third Floor Lobby*

One wall of the sitting area has a fireplace with a paneled wood over-mantle and floor-to-ceiling surround. The same wall has an arched wall recess to mirror the arched corridor opening on the opposite side of the



*Fireplace view, Third Floor Lobby*

fireplace. The adjacent wall has large wood bookcases with glass doors. Paneled wood doors have rectangular transoms detailed with sunbursts and ellipses reminiscent of the Federal Style. Interior windows behind the reception desk are similarly ornamented with sunbursts and swags. Lighting is a combination of chandeliers and fluorescent ceiling fixtures.

These spaces retain a high degree of integrity.



*Door detail, Third Floor Lobby*

### *Architectural Recommendations*

The Chairman's Office and the Third Floor Lobby for the Music Department are areas exhibiting distinguishing qualities, original materials and elements. These spaces are important to defining the unique character of the building. Every effort should be made to maintain and preserve the character and qualities of this zone including the scale, ornament, materials and use. Any new work should be completed in a manner sympathetic to the historic character of the space. If any of the decorative ornament is damaged, sensitive repairs should be made; if beyond repair, replication in identical materials is recommended.

Historic elements have been rated for preservation and appear to be in good condition. Significant elements within this zone include plaster ceilings, ceiling molding, walls and trim; wood floors, door and trim elements; brass hardware; the ornamental lobby clock and fireplace. Continued proper maintenance of these elements will contribute to the preservation of these spaces.

### *Lighting Recommendations*

The current light fixtures in the third floor lobby consist of four chandeliers in the main lobby and three linear fluorescent wraparounds arranged somewhat irregularly above the reception desk. None of these fixtures are original. Six light fixtures are shown on the 1946 renovation drawings, though few details are available. Fixtures appear to be rectangular in plan, approximately 1'-6" by 4'-0", and were most likely

linear fluorescent.

In the chairman's office, two of the same fixtures are shown on the drawings, and two linear fluorescent wraparounds appear to be in the same locations currently. These fixtures may bear some resemblance to the ones from 1946. In addition, yoke-mounted incandescent lights mounted above the shelves appear to be original fixtures. Most have been painted, though one, tucked back in a closet, still has some of its original finish showing.

Without any historical reference to the original fixtures, any changes to the lighting should be sensitive to the original architecture.

- Replace the lights in the third floor lobby. Replacement fixtures should be installed in the original locations, as shown in the drawings, and every effort should be made to be sensitive to the original design.
- Replace the fluorescent fixtures in the chairman's office with fixtures that replicate the originals installed in 1946. These should match replacement fixtures in the lobby.
- Refurbish and reinstall the original shelf lights in the chairman's office. If they cannot be refurbished, replicas should be made to replace them.
- If necessary, additional functional lighting may need to be added to supplement new light fixtures. The appearance of any additional, non-historic lighting should be minimized.

*Mechanical / Electrical Recommendations*

- When restoration work occurs, any exposed conduit, piping or other MEP elements should be eliminated or moved.
- If there is any ceiling work, the pendant sprinkler heads could be changed for less obtrusive recessed type heads.

### **Detailed Zone Description – Zone 2: Preservation**

<u>Zone number</u>	<u>Zone name</u>
2B	Recital Hall (Classroom 207)

The Recital Hall (Classroom 207) is an ornamented space with finishes similar to those found in the Third Floor Lobby. A simple vestibule separates the corridor from the recital hall and provides access to an adjoining coat room. The arched ceiling has been covered with suspended ceiling tiles.



*View of Recital Hall from stage*

The recital hall floor is flat with synthetic tile which covers the original oak. The walls are plaster. A chair rail divides wainscot from dado, and crown molding is at the ceiling. The walls are detailed with wood molding, and there are tall niches in the back wall. Tuscan pilasters with squared shaft and fluted capital are placed at rhythmic intervals along

all four walls.

The plaster ceiling has boxed beams with stepped profiles which are regularly spaced along the entire depth of the room. Recessed light fixtures are plaster with a finish to resemble bronze and are in the form of a flower blossom.



*Detail of stage and windows*

Windows extend the entire depth of the room on the south wall and are paired within each interior bay. There are two windows and a fire escape access on the west wall, at the rear of the stage. The stage area has a wood floor which is raised approximately one foot above the floor level. This space retains a high degree of integrity.

### *Architectural Recommendations*

The Recital Hall (Classroom 207) is an area exhibiting distinguishing qualities and, original materials and elements. This space is considered important to defining the unique character of the building. Every effort should be made to maintain and preserve the character and qualities of this zone, including the scale, ornament, materials and use. Any new work should be completed in a manner sympathetic to the historic character of the space. If any of the decorative ornament is damaged, sensitive repairs should be made; if beyond repair, replication in identical materials is recommended.

Historic elements have been rated for preservation and appear to be in good condition. Significant elements within this zone include plaster walls and ornament, ceilings and cornice; wood floors, doors and framed openings; brass hardware; and, lighting fixtures. Continued proper maintenance of these elements will contribute to the preservation of these spaces.

- Consider removal of suspended acoustical tiles and restore the plaster ceiling in the entrance vestibule.
- Remove synthetic tile flooring and mastic at the seating area, and restore the original maple floors.

### *Lighting Recommendations*

The lighting within the Recital Hall appears to have changed very little from the original design. Incandescent lamp sockets set within plaster

“flowers” provide general illumination, and are probably original. Socket strips with alternating A and R lamps are located on the stage side of the three westernmost plaster beams; a cavity within the next beam conceals stage lighting, and is marked as such on the 1946 renovation plans. Both the flowers and the stage lighting appear to be original.

- As the current lighting appears to be original, effort should be taken to preserve it. Concealed stage lighting fixtures and socket strips may be replaced as necessary, but their replacements should not be more visible than the originals.
- The current A lamps in the “flower” fixtures appear to be too small for the scale of the plaster ornamentation. These should be relamped with larger G (globe) lamps, which were likely the type of lamps used originally.
- All original light fixtures should be professionally cleaned and refurbished. In addition, they should be re-wired to comply with current electrical and building codes.

### *Mechanical / Electrical Recommendations*

- After the lighting system is restored, the removal of any remaining exposed electrical work is recommended. New sound reinforcement, performance lighting, data and power raceway and outlets should be installed in a completely concealed manner.

- If there is any ceiling work, the pendant sprinkler heads could be changed for less obtrusive recessed type heads.

### **Detailed Zone Description – Zone 3: Rehabilitation**

<u>Zone number</u>	<u>Zone name</u>
3A	Secondary Exterior Elevations (West, North and Lightcourt)

The secondary (west) exterior elevation, faces an alley, and reflects its use as service entrance and fire egress. The wall is common brick with concrete at the base.

On the ground level, there is a steel service door toward the north end of the elevation with one window on each side of this door. On floors two through four, there are five windows across each floor and one opening to access the fire escape. The original steel windows have been replaced with aluminum double hung units except at fire egress locations. The limestone window sills remain.

The fire escape is located at the south end of this elevation.

The north elevation is a party wall with a small lightcourt at its center. The lightcourt opening is between the second and fourth floors, the area on the first floor is enclosed storage. There were originally window openings into the lightcourt although many are currently filled in.



*View into alley west of building*

### *Architectural Recommendations*

The West, North and Lightcourt elevations, as secondary façades, have been assigned Zone Level 3: Rehabilitation. These are areas modest in nature, not highly ornamented but with historic features and materials which have been preserved and maintained. Historic elements appear to be in good to fair condition. There should be continued preservation of the stone and brick masonry, and steel windows. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods and materials may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- Conduct a comprehensive façade inspection to identify problem areas and design a program for repair. Repair limestone and tuckpoint brick as necessary.

### *Mechanical / Electrical Recommendations*

- The west, alley elevation has ventilation openings, surface mounted refrigerant piping, power conduit and exhaust ductwork. These elements could be moved into the building and run concealed to the roof.
- The light well is used for natural ventilation and air conditioning heat rejection. Cleaning the light well surfaces will improve air quality.



### **Detailed Zone Description – Zone 3: Rehabilitation**

<u>Zone number</u>	<u>Zone name</u>
3B	Roof

The building is topped with a dual-pitched Mansard Style roof. Characteristic of this roof style, it becomes an integral extension of the facades with its terra cotta pedimented windows punctuating a brick wall. The pitched roof is covered with slate tiles and copper flashing. The flat part of the roof is built-up bituminous material and is submerged below the level of the pitched roof. The top edge of the mansard rises approximately seven feet about the flat portion.

There is a brick chimney with clay tile coping. There are multiple penthouses along the north wall of concrete masonry units and clay tile coping. These penthouses are storage areas and are currently empty.

The mansard roof is visible from the ground and from neighboring buildings and has become part of the visual landscape as viewed from these surrounding buildings. Because of the submerged roof deck, mechanical equipment currently is not visible from the ground.

#### **Cautionary Zone Overlay:**

Mechanical equipment on the roof includes but is not limited to: elevator equipment rooms, packaged HVAC units, exhaust fans, chimneys, and air-cooled air conditioning condensers.



*View showing the high visibility of the roof*

#### **Architectural Recommendations**

The roof has been assigned Zone Level 3: Rehabilitation because additions and alterations to the roof can impact the Primary Facades of the building. Historic elements have been identified and should be preserved. Elements visible from the ground should be maintained and if necessary replaced with compatible material and design. Elements appear to be in good to fair condition. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. New work in this

zone should respect the existing historic fabric.

#### *Mechanical / Electrical Recommendations*

- The roof is the preferred location for mechanical equipment. Given the size of the building and the size of existing and new HVAC equipment, there is no reason that all of the mechanical equipment can not be held behind and below the high parapets on the east and south elevations.
- As the cycle of updating and replacing mechanical equipment continues, new systems should be designed, in part, to incorporate sensitive placement of equipment, keeping its profile as low as possible, locating equipment away from the perimeter and other areas where it will continue to be hidden from view.

### **Detailed Zone Description – Zone 3: Rehabilitation**

<u>Zone number</u>	<u>Zone name</u>
3C	Northwest Stairway

The Northwest Stairway is not richly ornamented but as a secondary circulation space continues to reflect its design intent. Finishes are simple. The stair structure is steel with a plaster backing that conceals the underside of the stairs. The treads are stained wood and risers are painted wood. The newel posts are squared wood with simple stepped wood newel caps. The handrails are rounded, painted wood. Rubber tread grips have been applied to the stairs.



*Representative view of northwest stairway*

The landings have synthetic floor tiles; the walls and ceilings are smooth, painted plaster. Lighting consists of contemporary ceiling-mounted florescent fixtures.

#### *Architectural Recommendations*

The Northwest Stairway has been assigned Zone Level 3: Rehabilitation. This is an area modest in nature, not highly ornamented but with historic features which have been preserved and maintained. Historic elements have been rated for preservation and appear to be in good condition.

. Work in this zone should be undertaken as sensitively as possible; however, contemporary methods, materials and designs may be selectively incorporated. New work in this zone should respect the existing historic fabric.

- Maintain wood tread finish to protect the wood.
- There should be continued preservation of the historic materials and configuration.

### **Detailed Zone Description – Zone 4:Free**

<u>Zone number</u>	<u>Zone name</u>
4A	Non-historic / Significantly Altered Spaces

The ground floor, except for the Main Entrance Lobby, has been significantly remodeled. Former restaurant areas have been reclaimed for academic use and redesigned as new lobby, performance theatre, classroom, support spaces and toilet rooms.



*View of new theater lobby at southeast corner of building*

The second through fourth floors have corridors and a range of room types including offices, classrooms, lounges, practice rooms, studios, toilet rooms, storage and mechanical rooms.

Throughout these areas, there are a variety of finishes. Floors are wood covered with carpet or synthetic tile, walls are smooth plaster or gypsum

board, ceilings are plaster or suspended acoustical tile. There is limited detail with the exception of corridors with original wall trim, doors and Classical transoms. The basement is also included in this zone.



*View of fourth floor lobby and skylight*



*Detail of toilet room finishes*

Original building elements visible within this zone include:

- Wood baseboards
- Wood door surrounds
- Wood chair rails
- Fourth floor lobby skylight
- Toilet rooms with ceramic tile floors, marble and Vitrolite walls, and ceramic sinks with metal legs.

#### Cautionary Zone Overlay:

There is equipment located throughout this zone that serves mechanical and electrical needs. The basement has a domestic water heater, low pressure gas steam boiler, boiler feed pump, 1200 AMP electrical service, domestic water main and meter, abandoned incinerator, sump pump, fire pump, gas meter and main sewer connection. The first floor has Tele-com equipment, there are air handling units on the first and second floors, and the third floor has a new flue serving the east offices with air conditioning.

#### *Architectural Recommendations*

Most interior spaces have been designated as Zone Level 4: Free. This area has a limited amount of historic fabric and has already undergone extensive redesign and renovation. Treatments, while sympathetic to the historic qualities and character of the building, may incorporate extensive changes or total replacement through the introduction of contemporary methods, materials, and designs. Historic elements have been identified for preservation and appear to be in good to fair condition.

- The wood floor surfaces are stained with a clear finish. These floors should be maintained to protect the wood. The wood cornice molding, wood doors and casing, framed openings, and wall trim are all in good condition and should continue to be maintained.
- The vitrolite is in good condition and should be preserved.

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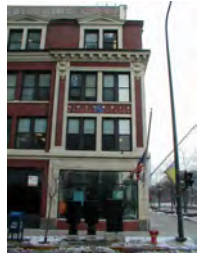


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Horowitz, Susan. *Queens of Comedy*. Amsterdam: Overseas Publishers Association, 1997.



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1A - Primary Exterior Elevations (East and South) and Return (West)	Cornice	Glazed Terra Cotta	1	Good Fair Poor Unknown Total:	lf 185 lf lf lf 185 lf	 1014_0928_0003.JPG
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Frame	Cast Iron Storefront	1	Good Fair Poor Unknown Total:	each 4 each each each 4 each	 1014_012805_25.JPG
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sill	Terra Cotta	1	Good Fair Poor Unknown Total:	375 lf lf lf lf 375 lf	 1014_012805_26.JPG
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Base	Granite	1	Good Fair Poor Unknown Total:	sf 60 sf sf sf 60 sf	 1014_0928_0007.JPG



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Surface	Face Brick	1	Good	2,600 sf	 1014_0928_0002.JPG
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	2,600 sf	
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Surface	Glazed Terra Cotta	1	Good	lf	 1014_011005_02.JPG
				Fair	1,500 lf	
				Poor	lf	
				Unknown	lf	
				Total:	1,500 lf	
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sash	Wood, Fixed	2	Good	2 each	 1014_012805_37.JPG
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sash	Wood, Hopper	2	Good	each	 1014_012805_38.JPG
				Fair	2 each	
				Poor	each	
				Unknown	each	
				Total:	2 each	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sill	Wood	2	Good	lf	 1014_012805_38.JPG
				Fair	15 lf	
				Poor	lf	
				Unknown	lf	
				Total:	15 lf	
1A - Primary Exterior Elevations (East and South) and Return (West)	Lighting	Cornice Mounted Fixture	2	Good	each	 1014_012805_39.JPG
				Fair	each	
				Poor	38 each	
				Unknown	each	
				Total:	38 each	
1A - Primary Exterior Elevations (East and South) and Return (West)	Roof Surface	Slate Shingle	2	Good	sf	 1014_0309_0001_b.jpg
				Fair	1,800 sf	
				Poor	sf	
				Unknown	sf	
				Total:	1,800 sf	

Zone Number & Description	Element Name	Description	Rating
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Finish	Stain	3
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Frame	Wood	3
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Frame	Wood	3
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Glazing	Clear, Single Glazed	3
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Base	Limestone	3
1A - Primary Exterior Elevations (East and South) and Return (West)	Cornice	Drainage Material / Flashing	4
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Ceiling Surface	Concrete	4
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Ceiling Finish	Paint	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door	Bronze Threshold	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door	Steel, Flush	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door	Transom	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door	Wood and Glass	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Casing/Trim	Wood	6

Zone Number & Description	Element Name	Description	Rating
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Finish	Factory Finish	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Frame	Steel	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Hardware	Aluminum	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Hardware	Bronze/Brass	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Door Hardware	Steel	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Entry Ceiling Trim	Wood	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Entry Floor Surface	Concrete	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Storefront Finish	Factory Finish	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Storefront Frame	Aluminum	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Storefront Glazing	Insulated Glass	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Storefront Sash	Aluminum, Fixed	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Casing/Trim	Aluminum	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Casing/Trim	Wood	6

Zone Number & Description	Element Name	Description	Rating
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Finish	Factory Finish	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Finish	Paint	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Frame	Aluminum	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Glazing	Insulated Glass	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sash	Aluminum, Double Hung	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sash	Aluminum, Double Hung	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Exterior Window Sill	Limestone	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Lighting	Wall Mounted Fixture	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Finish	Paint	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Intrusions	Awning	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Intrusions	Firehose Hookup	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Intrusions	Flag Pole/Mount	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Intrusions	Signage	6



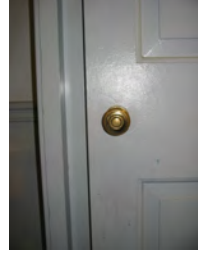

Zone Number & Description	Element Name	Description	Rating
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Intrusions	Sprinkler Alarm	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Intrusions	Vent	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Ornament	Display Case	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Surface	Granite	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Surface	Solid Composite Surface	6
1A - Primary Exterior Elevations (East and South) and Return (West)	Wall Surface	Wood Board Paneling	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Floor Surface	Travertine	1	Good	250 sf	 1014_012605_01.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	250 sf	
1B - Entrance Lobby and Main Stairway (East)	Stair Railing	Cast Iron	1	Good	100 lf	 1014_012605_21.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	100 lf	
1B - Entrance Lobby and Main Stairway (East)	Wall Surface	Marble	1	Good	550 sf	 1014_012605_02.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	550 sf	
1B - Entrance Lobby and Main Stairway (East)	Wall Trim (Base)	Marble	1	Good	50 lf	 1014_012605_07.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	50 lf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Ceiling Surface	Plaster	2	Good	550 sf	 1014_012605_09.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	550 sf	
1B - Entrance Lobby and Main Stairway (East)	Ceiling Trim	Plaster Cornice Moulding	2	Good	100 lf	 1014_012605_10.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	100 lf	
1B - Entrance Lobby and Main Stairway (East)	Ceiling Trim	Wood Cornice Moulding	2	Good	175 lf	 1014_012805_22.JPG
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	175 lf	
1B - Entrance Lobby and Main Stairway (East)	Exterior Window: Interior Casing/ Trim	Steel	2	Good	lf	 1014_012605_22.jpg
				Fair	45 lf	
				Poor	lf	
				Unknown	lf	
				Total:	45 lf	

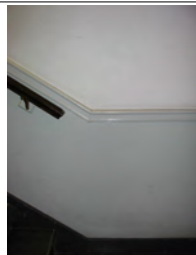



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Handrail Finish	Stained with Clear Coat	2	Good	160 lf	 1014_012605_14.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	160 lf	
1B - Entrance Lobby and Main Stairway (East)	HVAC Equipment	Radiator	2	Good	1 each	 1014_012605_05.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	
1B - Entrance Lobby and Main Stairway (East)	Interior Door	Wood, Paneled	2	Good	11 each	 1014_012605_25.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	11 each	
1B - Entrance Lobby and Main Stairway (East)	Interior Door Casing/Trim	Wood	2	Good	215 lf	 1014_012605_25.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	215 lf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Interior Door Casing/Trim	Wood with Faux Painting	2	Good	20 lf	 1014_1028_0038.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	20 lf	
1B - Entrance Lobby and Main Stairway (East)	Interior Door Framed Opening	Wood	2	Good	200 sf	 1014_012605_17.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	200 sf	
1B - Entrance Lobby and Main Stairway (East)	Interior Door Hardware	Bronze/Brass	2	Good	4 each	 1014_012605_26.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	4 each	
1B - Entrance Lobby and Main Stairway (East)	Stair	Steel	2	Good	375 sf	 1014_012605_13.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	375 sf	


Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Stair	Terrazzo	2	Good	375 sf	 1014_012605_13.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	375 sf	
1B - Entrance Lobby and Main Stairway (East)	Stair Hardware	Bronze/Brass	2	Good	32 each	 1014_012605_15.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	32 each	
1B - Entrance Lobby and Main Stairway (East)	Stair Railing	Wood	2	Good	160 lf	 1014_012605_14.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	160 lf	
1B - Entrance Lobby and Main Stairway (East)	Wall Surface	Plaster	2	Good	2,200 sf	 1014_012605_19.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	2,200 sf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Wall Surface	Wood with Faux Paint	2	Good	70 sf	 1014_012605_04.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	70 sf	
1B - Entrance Lobby and Main Stairway (East)	Wall Surface	Wood, Stained	2	Good	150 sf	 1014_012805_21.JPG
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	150 sf	
1B - Entrance Lobby and Main Stairway (East)	Wall Trim	Plaster	2	Good	100 lf	 1014_012605_06.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	100 lf	
1B - Entrance Lobby and Main Stairway (East)	Wall Trim	Wood	2	Good	150 lf	 1014_012605_23.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	150 lf	

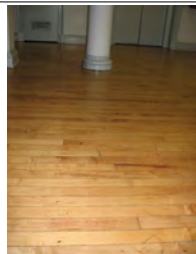
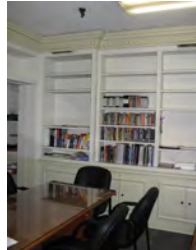


Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
1B - Entrance Lobby and Main Stairway (East)	Wall Trim	Wood	2	Good	175 lf	 1014_012605_20.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	175 lf	
1B - Entrance Lobby and Main Stairway (East)	Wall Trim (Base)	Wood	2	Good	60 lf	 1014_012605_24.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	60 lf	

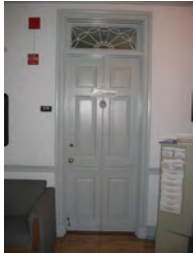
Zone Number & Description	Element Name	Description	Rating
1B - Entrance Lobby and Main Stairway (East)	Exterior Window Hardware	Steel pull chain with wood knob	3
1B - Entrance Lobby and Main Stairway (East)	Interior Door Frame	Wood	3
1B - Entrance Lobby and Main Stairway (East)	Ceiling Finish	Paint	6
1B - Entrance Lobby and Main Stairway (East)	Ceiling Intrusions	Sprinklers	6
1B - Entrance Lobby and Main Stairway (East)	Ceiling Surface	Accoustical Tiles (Affixed)	6
1B - Entrance Lobby and Main Stairway (East)	Elevators	Passenger	6
1B - Entrance Lobby and Main Stairway (East)	Exterior Window: Interior Finish	Paint	6
1B - Entrance Lobby and Main Stairway (East)	Exterior Window: Interior Stool	Wood	6
1B - Entrance Lobby and Main Stairway (East)	Fire Detection	Alarm/Pull	6
1B - Entrance Lobby and Main Stairway (East)	Fire Egress	Lighted Exit Signage	6
1B - Entrance Lobby and Main Stairway (East)	Floor Surface	Carpet	6
1B - Entrance Lobby and Main Stairway (East)	Floor Surface	Entrance Mat	6
1B - Entrance Lobby and Main Stairway (East)	Floor Surface	Synthetic Tile	6
1B - Entrance Lobby and Main Stairway (East)	Furnishings	Counter	6
1B - Entrance Lobby and Main Stairway (East)	HVAC Equipment	Forced Air Ducts	6
1B - Entrance Lobby and Main Stairway (East)	HVAC Equipment	Thermostat	6
1B - Entrance Lobby and Main Stairway (East)	Interior Door	Wood, Flush	6
1B - Entrance Lobby and Main Stairway (East)	Interior Door Finish	Factory Finish	6
1B - Entrance Lobby and Main Stairway (East)	Interior Door Finish	Paint	6
1B - Entrance Lobby and Main Stairway (East)	Interior Door Frame	Steel	6
1B - Entrance Lobby and Main Stairway (East)	Interior Door Frame	Wood	6
1B - Entrance Lobby and Main Stairway (East)	Interior Door Hardware	Bronze/Brass	6
1B - Entrance Lobby and Main Stairway (East)	Lighting	Ceiling Mounted Fixture	6
1B - Entrance Lobby and Main Stairway (East)	Lighting	Recessed Fixture	6
1B - Entrance Lobby and Main Stairway (East)	Lighting	Suspended Fixture	6
1B - Entrance Lobby and Main Stairway (East)	Wall Finish	Paint	6

Zone Number & Description	Element Name	Description	Rating
1B - Entrance Lobby and Main Stairway (East)	Wall Intrusions	Bulletin/Peg Board	6
1B - Entrance Lobby and Main Stairway (East)	Wall Intrusions	Conduit	6
1B - Entrance Lobby and Main Stairway (East)	Wall Intrusions	Display Case	6
1B - Entrance Lobby and Main Stairway (East)	Wall Intrusions	Phone	6
1B - Entrance Lobby and Main Stairway (East)	Wall Intrusions	Security/Alarms	6
1B - Entrance Lobby and Main Stairway (East)	Wall Intrusions	Signage	6
1B - Entrance Lobby and Main Stairway (East)	Wall Surface	Plaster	6
1B - Entrance Lobby and Main Stairway (East)	Wall Trim	Wood	6
1B - Entrance Lobby and Main Stairway (East)	Wall Trim (Base)	Wood	6

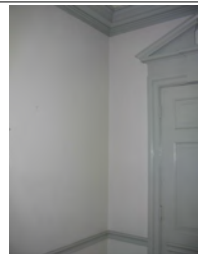


Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Third Floor Lobby and Chairman's Office (301)	Wall Ornament	Clock	1	Good	1 each	 1014_012605_34.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	
2A - Third Floor Lobby and Chairman's Office (301)	Wall Ornament	Columns	1	Good	4 each	 1014_1028_0016.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	4 each	
2A - Third Floor Lobby and Chairman's Office (301)	Ceiling Trim	Plaster Cornice Moulding	2	Good	230 lf	 1014_012605_35.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	230 lf	
2A - Third Floor Lobby and Chairman's Office (301)	Ceiling Trim	Wood Cornice Moulding	2	Good	80 lf	 1014_012805_11.JPG
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	80 lf	



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Third Floor Lobby and Chairman's Office (301)	Floor Surface	Wood	2	Good	1,050 sf	 1014_012605_32.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	1,050 sf	
2A - Third Floor Lobby and Chairman's Office (301)	Furnishings	Built-in Bookcase	2	Good	375 sf	 1014_012805_02.JPG
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	375 sf	
2A - Third Floor Lobby and Chairman's Office (301)	Furnishings	Fireplace	2	Good	1 each	 1014_012605_37.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	
2A - Third Floor Lobby and Chairman's Office (301)	HVAC Equipment	Radiator	2	Good	2 each	 1014_010705_07.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	





Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door	Transom	2	Good	6 each	 1014_012605_39.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	6 each	
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door	Wood, Paneled	2	Good	5 each	 1014_012605_38.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	5 each	
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door Casing/Trim	Wood	2	Good	200 lf	 1014_012605_44.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	200 lf	
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door Framed Opening	Wood	2	Good	125 lf	 1014_012605_41.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	125 lf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door Hardware	Bronze/Brass	2	Good	4 each	 1014_012605_40.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	4 each	
2A - Third Floor Lobby and Chairman's Office (301)	Interior Window	Wood, Fixed	2	Good	1 each	 1014_012605_42.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	
2A - Third Floor Lobby and Chairman's Office (301)	Interior Window Casing/Trim	Wood	2	Good	20 lf	 1014_012605_42.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	20 lf	
2A - Third Floor Lobby and Chairman's Office (301)	Wall Ornament	Wood Panels	2	Good	60 sf	 1014_012805_13.JPG
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	60 sf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2A - Third Floor Lobby and Chairman's Office (301)	Wall Surface	Plaster	2	Good	1,450 sf	 1014_012605_33.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	1,450 sf	
2A - Third Floor Lobby and Chairman's Office (301)	Wall Trim	Wood	2	Good	120 lf	 1014_012805_09.JPG
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	120 lf	
2A - Third Floor Lobby and Chairman's Office (301)	Wall Trim (Base)	Wood	2	Good	120 lf	 1014_012605_36.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	120 lf	


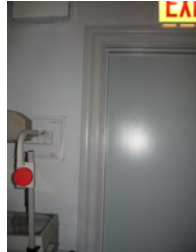

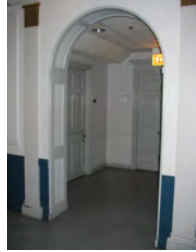
Zone Number & Description	Element Name	Description	Rating
2A - Third Floor Lobby and Chairman's Office (301)	Exterior Window: Interior Casing/Trim	Wood	3
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door Frame	Wood	3
2A - Third Floor Lobby and Chairman's Office (301)	Interior Window Frame	Wood	3
2A - Third Floor Lobby and Chairman's Office (301)	Interior Window Glazing	Clear, Single Glazed	3
2A - Third Floor Lobby and Chairman's Office (301)	Ceiling Finish	Paint	6
2A - Third Floor Lobby and Chairman's Office (301)	Ceiling Intrusions	Ceiling Fan	6
2A - Third Floor Lobby and Chairman's Office (301)	Ceiling Surface	Accoustical Tiles (Affixed)	6
2A - Third Floor Lobby and Chairman's Office (301)	Elevators	Passenger	6
2A - Third Floor Lobby and Chairman's Office (301)	Exterior Window: Interior Finish	Paint	6
2A - Third Floor Lobby and Chairman's Office (301)	Exterior Window: Interior Stool	Wood	6
2A - Third Floor Lobby and Chairman's Office (301)	Fire Detection	Alarm/Pull	6
2A - Third Floor Lobby and Chairman's Office (301)	Fire Egress	Lighted Exit Signage	6
2A - Third Floor Lobby and Chairman's Office (301)	Fire Suppression	Fire Extinguisher	6
2A - Third Floor Lobby and Chairman's Office (301)	Fire Suppression	Wet Pipe Sprinkler	6
2A - Third Floor Lobby and Chairman's Office (301)	Floor Surface	Area Rug	6
2A - Third Floor Lobby and Chairman's Office (301)	Floor Surface	Carpet	6
2A - Third Floor Lobby and Chairman's Office (301)	Furnishings	Built-in Bookcase	6
2A - Third Floor Lobby and Chairman's Office (301)	HVAC Equipment	Forced Air Ducts	6
2A - Third Floor Lobby and Chairman's Office (301)	HVAC Equipment	Register/Grille	6
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door	Wood, Flush	6
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door Finish	Paint	6
2A - Third Floor Lobby and Chairman's Office (301)	Interior Door Hardware	Aluminum	6
2A - Third Floor Lobby and Chairman's Office (301)	Interior Window Finish	Paint	6
2A - Third Floor Lobby and Chairman's Office (301)	Lighting	Ceiling Mounted Fixture	6
2A - Third Floor Lobby and Chairman's Office (301)	Lighting	Suspended Fixture	6
2A - Third Floor Lobby and Chairman's Office (301)	Wall Finish	Paint	6



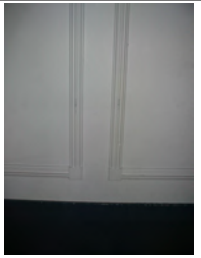

Zone Number & Description	Element Name	Description	Rating
2A - Third Floor Lobby and Chairman's Office (301)	Wall Intrusions	Bulletin/Peg Board	6
2A - Third Floor Lobby and Chairman's Office (301)	Wall Intrusions	Conduit	6
2A - Third Floor Lobby and Chairman's Office (301)	Wall Intrusions	Signage	6


Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2B - Recital Hall (207)	Wall Ornament	Plaster Niche	1	Good	2 each	 1014_012605_49.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	
2B - Recital Hall (207)	Wall Ornament	Plaster Pilasters	1	Good	28 each	 1014_012605_57.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	28 each	
2B - Recital Hall (207)	Ceiling Surface	Plaster	2	Good	1,500 sf	 1014_012605_52.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	1,500 sf	
2B - Recital Hall (207)	Ceiling Trim	Plaster Cornice Moulding	2	Good	270 lf	 1014_012605_51.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	270 lf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2B - Recital Hall (207)	Exterior Window: Interior Casing/ Trim	Wood	2	Good	225 lf	 1014_012605_53.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	225 lf	
2B - Recital Hall (207)	Exterior Window: Interior Stool	Wood	2	Good	60 lf	 1014_012605_53.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	60 lf	
2B - Recital Hall (207)	Floor Surface	Wood	2	Good	650 sf	 1014_012605_47.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	650 sf	
2B - Recital Hall (207)	HVAC Equipment	Radiator	2	Good	7 each	 1014_1028_0042_a.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	7 each	



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2B - Recital Hall (207)	Interior Door	Wood, Paneled	2	Good	3 each	 1014_012605_63.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	3 each	
2B - Recital Hall (207)	Interior Door Casing/Trim	Wood	2	Good	55 lf	 1014_012605_62.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	55 lf	
2B - Recital Hall (207)	Interior Door Framed Opening	Proscenium Arch	2	Good	1 each	 1014_012605_56.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	1 each	
2B - Recital Hall (207)	Interior Door Framed Opening	Wood	2	Good	15 lf	 1014_012605_54.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	15 lf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
2B - Recital Hall (207)	Interior Door Hardware	Bronze/Brass	2	Good	2 each	 1014_012605_26_a.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	
2B - Recital Hall (207)	Lighting	Recessed Fixture	2	Good	12 each	 1014_012605_55.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	12 each	
2B - Recital Hall (207)	Wall Ornament	Plaster Ornament	2	Good	325 lf	 1014_012605_58.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	325 lf	
2B - Recital Hall (207)	Wall Surface	Plaster	2	Good	2,000 sf	 1014_012605_48.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	2,000 sf	

Zone Number & Description	Element		Rating	Condition	Quantity	Photograph
	Name	Description				
2B - Recital Hall (207)	Wall Trim (Base)	Wood	2	Good	220 lf	
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	220 lf	

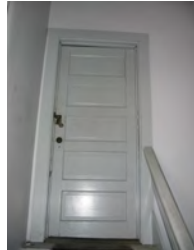
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Zone Number & Description	Element Name	Description	Rating
2B - Recital Hall (207)	Interior Door Frame	Wood	3
2B - Recital Hall (207)	Wall Ornament	Wood Grille	3
2B - Recital Hall (207)	Ceiling Finish	Paint	6
2B - Recital Hall (207)	Ceiling Surface	Accoustical Tiles (Suspended)	6
2B - Recital Hall (207)	Exterior Door	Steel, Flush	6
2B - Recital Hall (207)	Exterior Window: Interior Finish	Paint	6
2B - Recital Hall (207)	Fire Detection	Alarm/Pull	6
2B - Recital Hall (207)	Fire Egress	Lighted Exit Signage	6
2B - Recital Hall (207)	Floor Surface	Synthetic Tile	6
2B - Recital Hall (207)	Furnishings	Curtain Rod and Curtain	6
2B - Recital Hall (207)	HVAC Equipment	Forced Air Ducts	6
2B - Recital Hall (207)	HVAC Equipment	Thermostat	6
2B - Recital Hall (207)	Interior Door	Steel, Flush	6
2B - Recital Hall (207)	Interior Door Finish	Paint	6
2B - Recital Hall (207)	Lighting	Stage Lighting	6
2B - Recital Hall (207)	Wall Finish	Paint	6
2B - Recital Hall (207)	Wall Intrusions	Conduit	6
2B - Recital Hall (207)	Wall Intrusions	Speakers	6
2B - Recital Hall (207)	Wall Surface	Solid Composite Surface	6

Zone Number & Description	Element Name	Description	Rating
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Window Casing/Trim	Steel	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Window Frame	Steel	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Window Glazing	Wire Glass	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Window Sash	Steel, Double Hung	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Window Sill	Limestone	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Parapet	Clay Tile	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Parapet	Limestone	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Surface	Common Brick	3
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door	Steel and Glass	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door	Steel Panel	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door Casing/Trim	Steel	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door Frame	Steel	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door Hardware	Steel	4




Zone Number & Description	Element Name	Description	Rating
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Lighting	Wall Mounted Fixture	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Stair	Steel	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Base	Cast Iron Curb	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Base	Concrete Curb	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Intrusions	Steel Hatch	4
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Ceiling Finish	Paint	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Ceiling Surface	Concrete	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door	Steel, Paneled	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door Casing/Trim	Steel	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door Finish	Paint	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Door Frame	Steel	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Exterior Window Finish	Paint	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Floor Surface	Concrete	6

Zone Number & Description	Element Name	Description	Rating
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Lighting	Wall Mounted Fixture	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Intrusions	Conduit	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Intrusions	Conduit	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Intrusions	Duct Work	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Intrusions	Pipes	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Intrusions	Vent / Louver	6
3A - Secondary Exterior Elevation (West, North and Lightcourt)	Wall Surface	Face Brick	6



Zone Number & Description		Element		Description	Rating	Condition	Quantity	Photograph
3B - Roof	Exterior Door	Wood, Paneled	2	Good	1 each			
				Fair	each			
				Poor	each			
				Unknown	each			
				Total:	1 each			
						1014_012605_68.jpg		



Zone Number & Description	Element Name	Description	Rating
3B - Roof	Exterior Window Frame	Wood	3
3B - Roof	Exterior Window Sash	Wood, Double Hung	3
3B - Roof	Exterior Window Sill	Brick	3
3B - Roof	Parapet	Clay Tile	3
3B - Roof	Roof Flashing/Trim	Copper Flashing	3
3B - Roof	Roof Openings	Skylight	3
3B - Roof	Wall Surface	Concrete Masonry Unit	3
3B - Roof	Wall Surface	Face Brick	3
3B - Roof	Chimney	Brick with Stone Coping	4
3B - Roof	Coping	Concrete	6
3B - Roof	Exterior Door	Steel, Flush	6
3B - Roof	Exterior Door Finish	Factory Finish	6
3B - Roof	Exterior Door Finish	Paint	6
3B - Roof	Exterior Door Frame	Steel	6
3B - Roof	Exterior Door Hardware	Steel	6
3B - Roof	Exterior Window Glazing	Clear, Single Glazed	6
3B - Roof	Exterior Window Lintel	Brick	6
3B - Roof	Roof Drainage	Downspouts	6
3B - Roof	Roof Drainage	Gutter	6
3B - Roof	Roof Drainage	Roof Drain	6
3B - Roof	Roof Flashing/Trim	Sheet Metal	6
3B - Roof	Roof Surface	Asphalt Shingle	6
3B - Roof	Roof Surface	Built-up Bituminous	6
3B - Roof	Stair	Steel	6
3B - Roof	Stair Railing	Steel	6



Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
3C - Northwest Stairway	HVAC Equipment	Radiator	2	Good	3 each	 1014_012605_05.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	3 each	
3C - Northwest Stairway	Stair	Wood	2	Good	340 sf	 1014_012605_66.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	340 sf	
3C - Northwest Stairway	Stair Railing	Wood	2	Good	80 lf	 1014_012605_67.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	80 lf	

Zone Number & Description	Element Name	Description	Rating
3C - Northwest Stairway	Ceiling Surface	Plaster	3
3C - Northwest Stairway	Elevators	Freight	3
3C - Northwest Stairway	Interior Door Casing/Trim	Wood	3
3C - Northwest Stairway	Interior Door Frame	Wood	3
3C - Northwest Stairway	Lighting	Wall Mounted Fixture	3
3C - Northwest Stairway	Stair Railing	Cast Iron	3
3C - Northwest Stairway	Wall Surface	Plaster	3
3C - Northwest Stairway	Wall Trim (Base)	Wood	3
3C - Northwest Stairway	Floor Surface	Concrete	4
3C - Northwest Stairway	Ceiling Intrusions	Conduit	6
3C - Northwest Stairway	Ceiling Intrusions	Pipes	6
3C - Northwest Stairway	Fire Suppression	Wet Pipe Sprinkler	6
3C - Northwest Stairway	Floor Surface	Synthetic Tile	6
3C - Northwest Stairway	Interior Door	Wood, Flush	6
3C - Northwest Stairway	Interior Door Finish	Paint	6
3C - Northwest Stairway	Interior Door Hardware	Steel	6
3C - Northwest Stairway	Lighting	Ceiling Mounted Fixture	6
3C - Northwest Stairway	Lighting	Wall Mounted Fixture	6
3C - Northwest Stairway	Stair	Rubber Treads	6
3C - Northwest Stairway	Stair Handrail Finish	Paint	6
3C - Northwest Stairway	Wall Finish	Paint	6
3C - Northwest Stairway	Wall Intrusions	Conduit	6
3C - Northwest Stairway	Wall Intrusions	Pipes	6

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
4A - Non-historic / Significantly Altered Spaces	Ceiling Trim	Wood Cornice Moulding	2	Good	130 lf	 1014_012605_76.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	130 lf	
4A - Non-historic / Significantly Altered Spaces	Exterior Window: Interior Casing/ Trim	Wood	2	Good	2,000 lf	 1014_012605_71.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	2,000 lf	
4A - Non-historic / Significantly Altered Spaces	Exterior Window: Interior Stool	Marble	2	Good	18 lf	 1014_012605_79.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	18 lf	
4A - Non-historic / Significantly Altered Spaces	Exterior Window: Interior Stool	Wood	2	Good	400 lf	 1014_012605_70.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	400 lf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
4A - Non-historic / Significantly Altered Spaces	Floor Surface	Wood	2	Good	210 sf	 1014_012605_80.jpg
				Fair	85 sf	
				Poor	sf	
				Unknown	sf	
				Total:	295 sf	
4A - Non-historic / Significantly Altered Spaces	HVAC Equipment	Radiator	2	Good	50 each	 1014_1124_0008_a.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	50 each	
4A - Non-historic / Significantly Altered Spaces	Interior Door	Wood and Glass	2	Good	2 each	 1014_012605_72.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	
4A - Non-historic / Significantly Altered Spaces	Interior Door	Wood Panel	2	Good	2 each	 1014_012605_77.jpg
				Fair	each	
				Poor	each	
				Unknown	each	
				Total:	2 each	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
4A - Non-historic / Significantly Altered Spaces	Interior Door Casing/Trim	Wood	2	Good	70 lf	 1014_012605_72.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	70 lf	
4A - Non-historic / Significantly Altered Spaces	Interior Door Framed Opening	Wood	2	Good	70 sf	 1014_012605_73.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	70 sf	
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Plaster	2	Good	23,000 sf	 1014_012605_33_a.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	23,000 sf	
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Vitrolite	2	Good	500 sf	 1014_012605_78.jpg
				Fair	sf	
				Poor	sf	
				Unknown	sf	
				Total:	500 sf	

Zone Number & Description	Element Name	Description	Rating	Condition	Quantity	Photograph
4A - Non-historic / Significantly Altered Spaces	Wall Trim	Wood	2	Good	2,400 lf	 1014_1028_0009.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	2,400 lf	
4A - Non-historic / Significantly Altered Spaces	Wall Trim (Base)	Wood	2	Good	2,400 lf	 1014_012605_75.jpg
				Fair	lf	
				Poor	lf	
				Unknown	lf	
				Total:	2,400 lf	

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces	Ceiling Surface	Concrete	3
4A - Non-historic / Significantly Altered Spaces	Exterior Window	Skylight	3
4A - Non-historic / Significantly Altered Spaces	Fire Egress	Exterior Steel Door	3
4A - Non-historic / Significantly Altered Spaces	Floor Surface	Concrete	3
4A - Non-historic / Significantly Altered Spaces	Furnishings	Built-in Cabinet	3
4A - Non-historic / Significantly Altered Spaces	Furnishings	Toilet Room Fixtures	3
4A - Non-historic / Significantly Altered Spaces	Interior Door Frame	Wood	3
4A - Non-historic / Significantly Altered Spaces	Interior Door Hardware	Bronze/Brass	3
4A - Non-historic / Significantly Altered Spaces	Stair Railing	Cast Iron	3
4A - Non-historic / Significantly Altered Spaces	Wall Ornament	Mail Box Slots	3
4A - Non-historic / Significantly Altered Spaces	Wall Structure	Brick Masonry Unit	3
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Ceramic Tile	3
4A - Non-historic / Significantly Altered Spaces	Wall Trim	Wood	3
4A - Non-historic / Significantly Altered Spaces	Floor Surface	Ceramic Tile	4
4A - Non-historic / Significantly Altered Spaces	Ceiling Intrusions	Conduit	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Intrusions	Duct Work	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Intrusions	Pipes	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Intrusions	Suspended Ceiling	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Surface	Accoustical Tiles (Affixed)	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Surface	Accoustical Tiles (Suspended)	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Surface	Gypsum Board	6
4A - Non-historic / Significantly Altered Spaces	Ceiling Surface	Plaster	6
4A - Non-historic / Significantly Altered Spaces	Electrical	Wiring Network	6
4A - Non-historic / Significantly Altered Spaces	Exterior Window Hardware	Aluminum	6
4A - Non-historic / Significantly Altered Spaces	Exterior Window: Interior Finish	Paint	6
4A - Non-historic / Significantly Altered Spaces	Fire Detection	Alarm/Pull	6



Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces	Fire Egress	Lighted Exit Signage	6
4A - Non-historic / Significantly Altered Spaces	Fire Suppression	Fire Extinguisher	6
4A - Non-historic / Significantly Altered Spaces	Fire Suppression	Wet Pipe Sprinkler	6
4A - Non-historic / Significantly Altered Spaces	Floor Surface	Carpet	6
4A - Non-historic / Significantly Altered Spaces	Floor Surface	Synthetic Tile	6
4A - Non-historic / Significantly Altered Spaces	Furnishings	Fixed Seating	6
4A - Non-historic / Significantly Altered Spaces	HVAC Equipment	Forced Air Ducts	6
4A - Non-historic / Significantly Altered Spaces	HVAC Equipment	Register/Grille	6
4A - Non-historic / Significantly Altered Spaces	HVAC Equipment	Thermostat	6
4A - Non-historic / Significantly Altered Spaces	Interior Door	Steel and Glass	6
4A - Non-historic / Significantly Altered Spaces	Interior Door	Steel, Flush	6
4A - Non-historic / Significantly Altered Spaces	Interior Door	Wood, Flush	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Casing/Trim	Aluminum	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Casing/Trim	Steel	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Finish	Paint	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Frame	Steel	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Hardware	Aluminum	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Hardware	Bronze/Brass	6
4A - Non-historic / Significantly Altered Spaces	Interior Door Hardware	Steel	6
4A - Non-historic / Significantly Altered Spaces	Lighting	Ceiling Mounted Fixture	6
4A - Non-historic / Significantly Altered Spaces	Lighting	Foot Lighting	6
4A - Non-historic / Significantly Altered Spaces	Lighting	Recessed Fixture	6
4A - Non-historic / Significantly Altered Spaces	Lighting	Stage Lighting	6
4A - Non-historic / Significantly Altered Spaces	Lighting	Suspended Fixture	6
4A - Non-historic / Significantly Altered Spaces	Lighting	Wall Mounted Fixture	6
4A - Non-historic / Significantly Altered Spaces	Space Intrusions	Partial Wall	6

Zone Number & Description	Element Name	Description	Rating
4A - Non-historic / Significantly Altered Spaces	Stair	Wood	6
4A - Non-historic / Significantly Altered Spaces	Stair Handrail Finish	Paint	6
4A - Non-historic / Significantly Altered Spaces	Wall Finish	Paint	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Bulletin/Peg Board	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Chalkboard/Dry Erase	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Circuit Breaker Panel	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Conduit	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Drinking Fountain	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Lockers	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Mirror	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Pipes	6
4A - Non-historic / Significantly Altered Spaces	Wall Intrusions	Speakers	6
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Gypsum Board	6
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Metal Modular Acoustic Walls	6
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Plaster	6
4A - Non-historic / Significantly Altered Spaces	Wall Surface	Sound Insulating Panel	6
4A - Non-historic / Significantly Altered Spaces	Wall Trim	Wood	6



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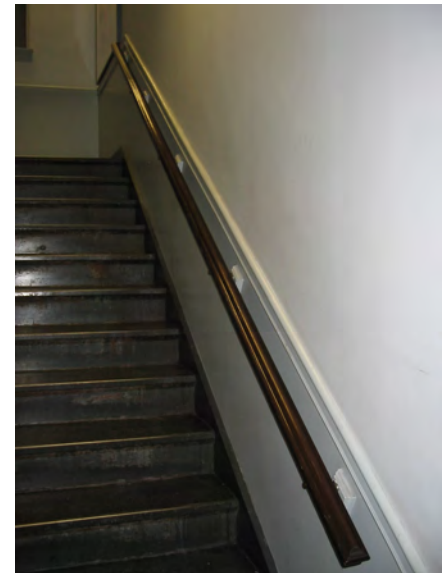
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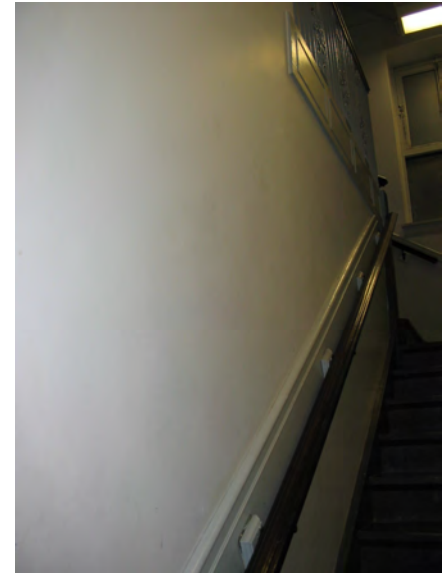
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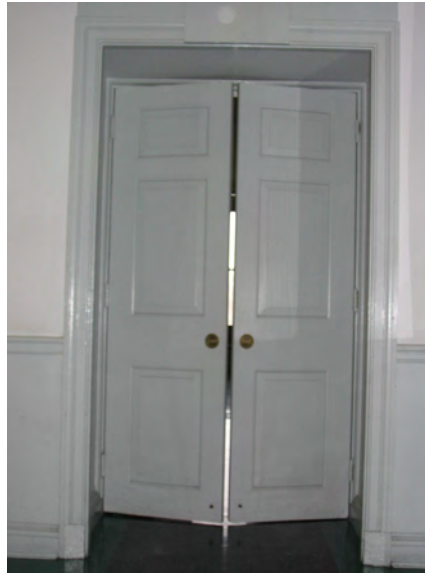


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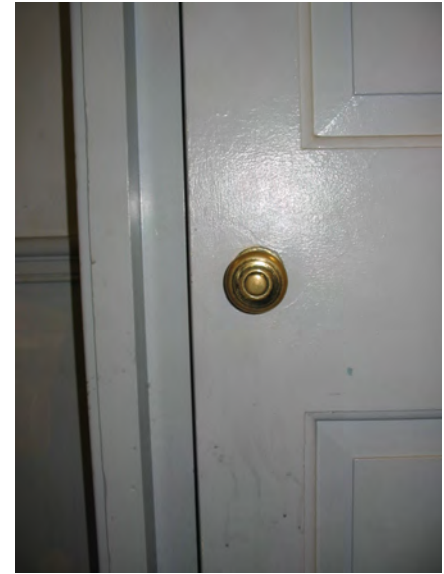


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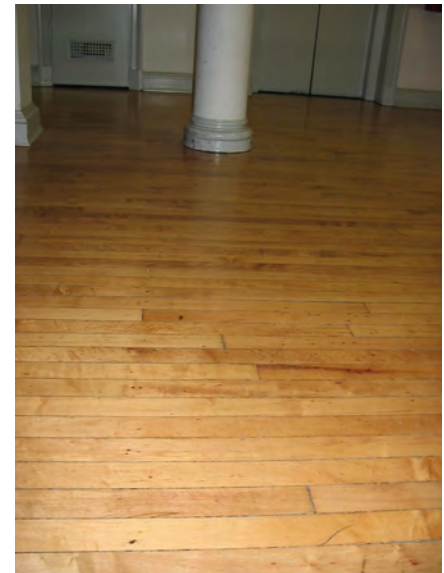
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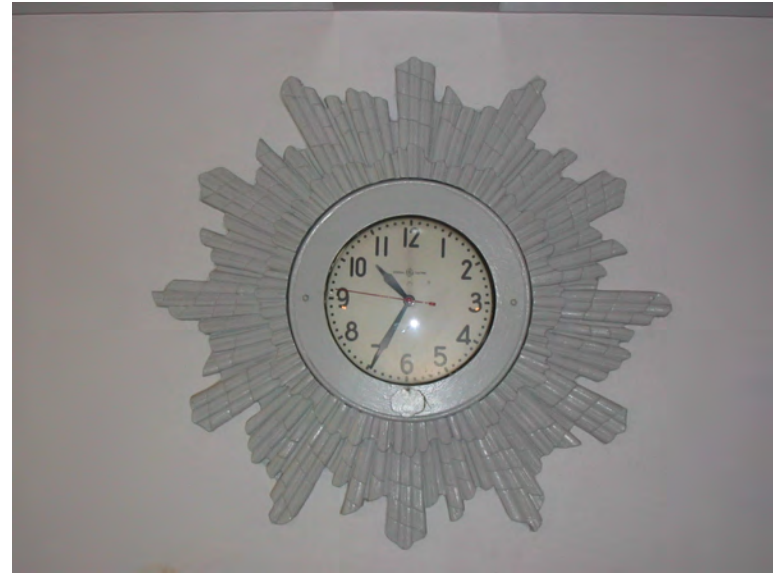


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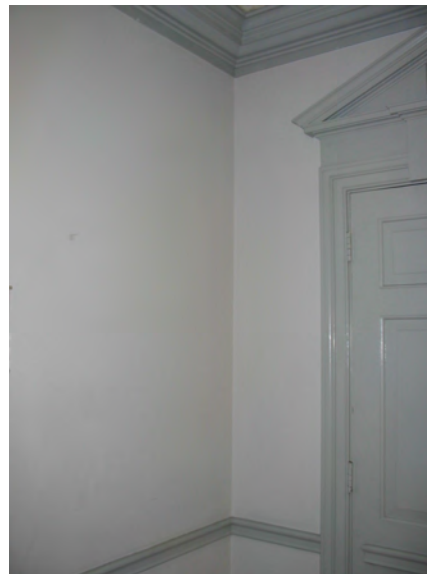




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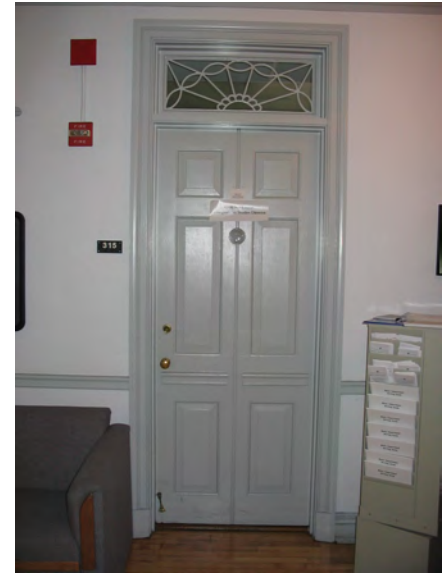
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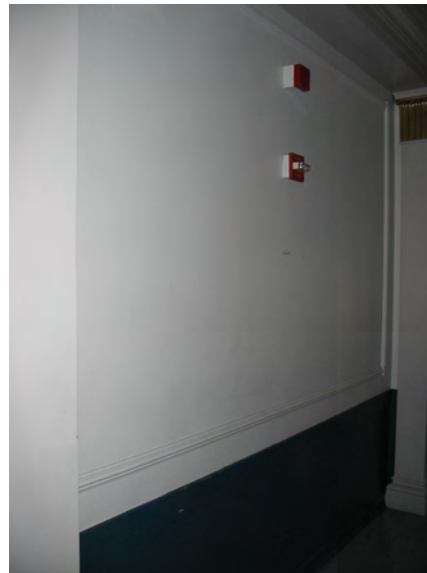




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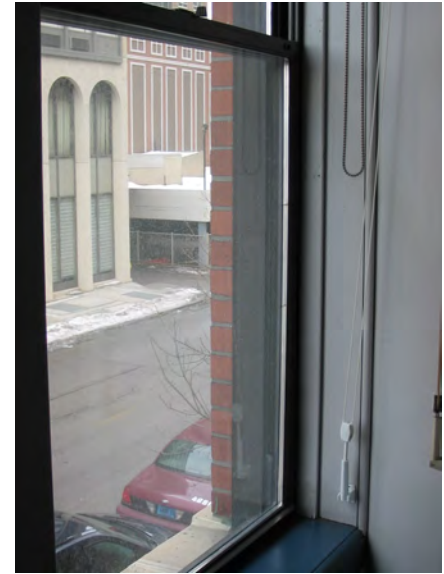
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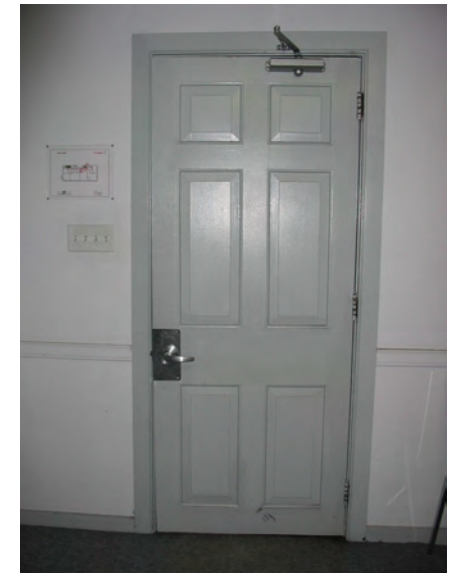
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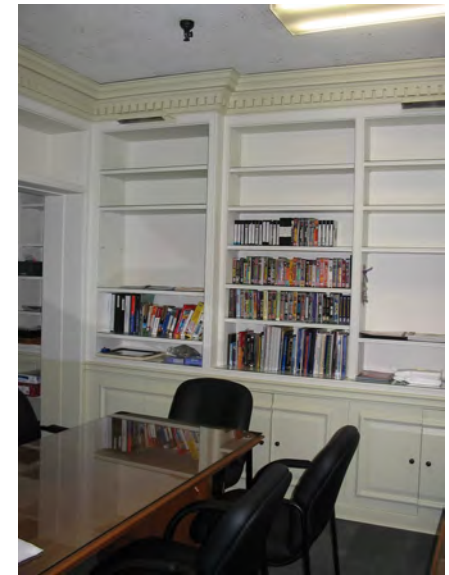
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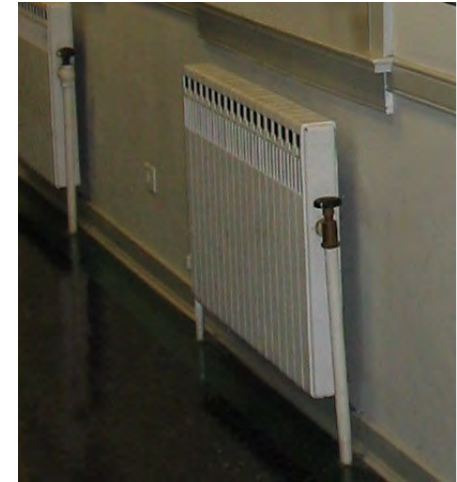
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1014 South Michigan Avenue

<u>Zone number</u>	<u>Zone name</u>
1A	Primary Exterior Elevations (East and South) and Return (West)

The exterior of the Columbia College Music Department, 1014 S. Michigan Avenue, shows no signs of historical lighting fixtures. The current lighting scheme includes several small floodlights to illuminate flags, and fluorescent striplights under the Michigan Avenue entry awning. The renovation drawings from 1946 suggest that no exterior lighting existed originally.

Recommendations: With no evidence of historical lighting in this zone, any changes made should be sensitive to the building's architectural character.

- The floodlights, though small, are finished in black and are not integrated within the architecture. If desired, new lighting should be designed that better integrates with the building or nearby street lighting poles.
- The fluorescent striplights and their associated exposed conduit behind the awning are large and conspicuous. Fixtures should be replaced with smaller, better concealed fixtures, which can illuminate the entryway and not attract attention to themselves.



East elevation – floodlight.



East elevation – striplights beneath awning at main entry.

<u>Zone number</u>	<u>Zone name</u>
1B	Entrance Lobby and Main Stairway (East)

The current lighting layout in the entrance lobby consists of several fixture types. There is a pendant located in the middle of the lobby ceiling, which is not original; neither are the recessed compact fluorescent downlights in the adjacent dropped ceiling. Square, recessed incandescent downlights in front of the elevator also appear to be relatively recent additions. The 1946 renovation drawings show the location of five light fixtures – four in the main lobby space; one in front of the elevator – with no additional evidence as to what type of fixtures they might have been.

The stairwell currently has lensed linear fluorescent fixtures surface-mounted above the landings, some fed with exposed conduit. Emergency lighting is provided via battery-powered units. The drawings show that the original lighting consisted of a single fixture centered in the stair hall on each floor. No additional lighting appears to have been included for the intermittent landings.

Recommendations: Without any historical reference to the original fixtures, any changes to the lighting should be sensitive to the original architecture.

- The fixtures currently lighting the lobby should be removed and replaced with fixtures in the original locations. Every



Entrance lobby – main pendant.



Entrance lobby – downlights added to dropped ceiling.

effort should be made to install fixtures sensitive to the original architecture.

- The surface-mounted fluorescent fixtures in the stairwell should be replaced with fixtures in the original locations, and all exposed conduit should be removed. New fixtures should be sympathetic to the original architecture.
- New, historic fixtures may need to be supplemented with additional functional lighting, though the appearance of any of these fixtures should be minimized.
- If permissible by code, battery-powered emergency units should be removed. New emergency lighting should be provided through emergency circuits in existing light fixtures.



Main stairway – fixtures and exposed conduit.



<u>Zone number</u>	<u>Zone name</u>
2A	Third Floor Lobby and Chairman's Office (301)

The current light fixtures in the third floor lobby consist of four chandeliers in the main lobby and three linear fluorescent wraparounds arranged somewhat irregularly above the reception desk. None of these fixtures are original. Six light fixtures are shown on the 1946 renovation drawings, though few details are available. Fixtures appear to be rectangular in plan, approximately 1'-6" by 4'-0", and were most likely linear fluorescent.

In the chairman's office, two of the same fixtures are shown on the drawings, and two linear fluorescent wraparounds appear to be in the same locations currently. These fixtures may bear some resemblance to the ones from 1946. In addition, yoke-mounted incandescent lights mounted above the shelves appear to be original fixtures. Most have been painted, though one, tucked back in a closet, still has some of its original finish showing.

Recommendations: Without any historical reference to the original fixtures, any changes to the lighting should be sensitive to the original architecture.

- In the third floor lobby, the current light fixtures should be removed. Replacement fixtures should be installed in the original locations, as shown in the drawings, and every effort should be made to be sensitive to the original design.



Third floor lobby – fluorescent wraparounds and incandescent chandeliers.



Third floor lobby – incandescent chandelier.

- The fluorescent fixtures in the chairman's office should be replaced with fixtures that replicate the originals installed in 1946. These should match replacement fixtures in the lobby.
- The original shelf lights in the chairman's office should be refurbished and reinstalled in their existing locations. If they cannot be refurbished, replicas should be made to replace them.



- If necessary, additional functional lighting may need to be added to supplement new light fixtures. The appearance of any additional, non-historic lighting should be minimized.



Chairman's office – painted shelf light.



<u>Zone number</u>	<u>Zone name</u>
2B	Recital Hall (207)

The lighting within the Recital Hall appears to have changed very little from the original design. Incandescent lamp sockets set within plaster “flowers” provide general illumination, and are probably original. Socket strips with alternating A and R lamps are located on the stage side of the three westernmost plaster beams; a cavity within the next beam conceals stage lighting, and is marked as such on the 1946 renovation plans. Both the flowers and the stage lighting appear to be original.

Recommendations:

- As the current lighting appears to be original, effort should be taken to preserve it. Concealed stage lighting fixtures and socket strips may be replaced as necessary, but their replacements should not be more visible than the originals.
- The current A lamps in the “flower” fixtures appear to be too small for the scale of the plaster ornamentation. These should be relamped with larger G (globe) lamps, which were likely the type of lamps used originally.
- All original light fixtures should be professionally cleaned and refurbished. In addition, they should be re-wired to comply with current the electrical and building codes.



Recital hall – “flower” lights and concealed stage lighting.



Recital hall – typical plaster “flower” fixture.



Recital hall – typical socket strip.